

Appendix A

Project Narrative and Plans

9176 SUNSET BOULEVARD

AUGUST 22, 2025

Faring.

StandardVision

JBC

Gensler

PROJECT INTRODUCTION

Globally celebrated for its unique character, edgy cultural touchstones and creative billboards, the Sunset Strip is moving into a new chapter of digital innovation. Understanding Sunset Strip as a cultural resource and a curated space, 9176 Sunset is an iconic gateway experience at the western end of West Hollywood's most famous boulevard.

WeHo and the Sunset Strip are both about 'pushing the envelope.' 9176 Sunset responds to this charge with landmark digital experiences, public art and groundbreaking environmental sustainability. The first all-electrical Class-A building in West Hollywood history, 9176 Sunset was honored to receive the City of West Hollywood Public Facilities Commission 'Green Seedling Award' for implementing cutting-edge renewable technologies. This paradigm-shifting project and iconic digital signage proudly announce your arrival to the Creative City in true West Hollywood style.

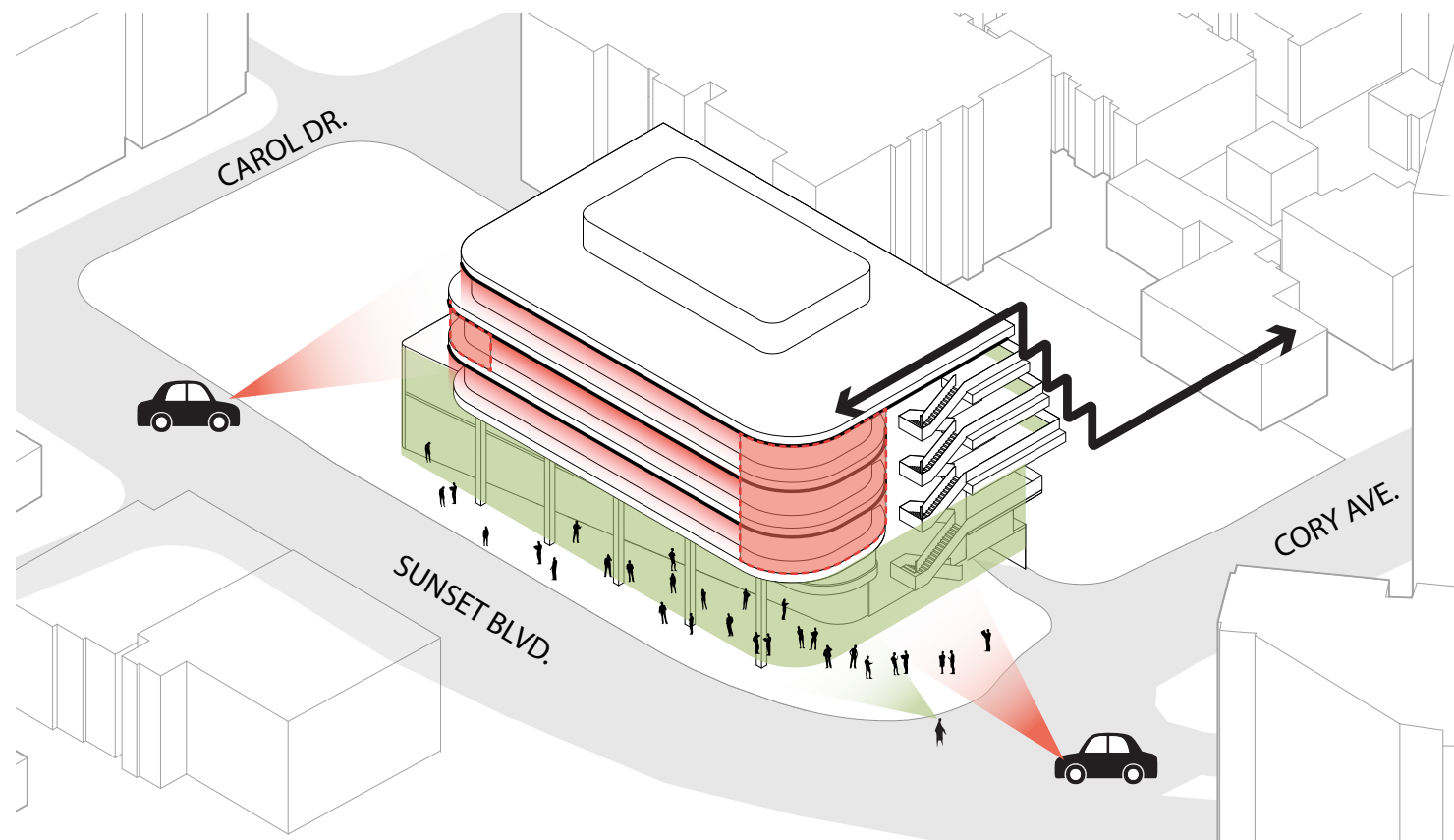
The Sunset Strip is where cultural game-changers come to make their mark. 9176 Sunset continues that storied journey into the future of Sunset Boulevard.



PROJECT NARRATIVE

Contemplated as celebratory milestone on the Western end of the Sunset Strip, 9176 Sunset occupies a landmark corner and literal break in the Boulevard -- a dividing line between commercial and residential districts. Similarly, the project design 'turns the corner,' gracefully transforming a bold commercial presence to a humble, thoughtful neighbor.

Delivering on the Sunset Specific Plan designation of a 'Minor Landmark' site, 9176 Sunset fulfills the City's desire for a distinctive visual anchor where lighting dramatizes architectural design. 9176 Sunset's curvilinear shape is contextual, but formally innovative. It recalls the vocabulary of streamline modernism without being literal or nostalgic. Eschewing overt formalism, 9176 Sunset's architecture is purposefully restrained and elegant, focused on material and detailing richness that enhances human experience. 9176 Sunset is a timeless landmark of lasting value for the City of West Hollywood.



PROJECT NARRATIVE

The architecture of 9176 Sunset elevates three unique features that deliver a landmark building at the Western gateway of the Boulevard – an innovative digital façade for the Sunset Strip, sheltering a lush, street-front garden with a sensitive and well-scaled approach toward the neighborhood.

Integration of two digital canvases into the 9176 Sunset’s architectural form highlight the gateway potential of the site. The digital canvases augment and are informed by the building architecture, alluding to the dynamism of the Sunset Strip. The content of the full-motion animated billboards nested in the northwest and northeast corners of the building moves across the canvases, conceived as transparent veils which offer views out from behind their uniquely slender aspect ratio LED louvers.

Secondly, the digital canvases float above a two story, generously landscaped ground level. This entry volume underneath a cantilevered ceiling is sheltered by a lush hanging garden over a publicly accessible and memorable space with café’s, seating, and lush landscaping. A meaningful Public Realm Enhancement installation further defines this important and memorable corner location.

The third defining feature of the building are the sloped, planted terraces on the south elevation. Compared to the dynamic Sunset Boulevard presence of this design, architectural form softens and steps down to meet the nearby residential scale on the southern side of the building. Deep terraces add to passive cooling and present a verdant, green elevation below the Boulevard.

9176 Sunset is the long-desired anchor of Sunset Strip’s western end and will appropriately celebrate the arrival into West Hollywood for generations to come.



PROJECT DATA

SITE & FLOOR AREA SUMMARY

AREA 8-D (SUNSET SPECIFIC PLAN)

AREA CALCS **MAXIMUM FLOOR AREA 53,033 SF**
FAR 2.85 **(53,033 SF = 18,608 SF LOT AREA x 2.85 FAR)**

	FLOOR AREA	OPEN SPACE
LEVEL 06 - ROOF		
BOH / MEP	636	
TOTAL	636	
LEVEL 05		
OFFICE	7,638	
RESTROOMS/MEP/CORE+SHAFTS	1,380	
TERRACE		429
PLANTING AREA		330
TOTAL	9,018	759
LEVEL 04		
OFFICE	7,974	
RESTROOMS/MEP/CORE+SHAFTS	1,358	
TERRACE		664
PLANTING AREA		332
TOTAL	9,332	996
LEVEL 03		
OFFICE	9,102	
RESTROOMS/MEP/CORE+SHAFTS	1,380	
TERRACE		1,947
PLANTING AREA		1,996
TOTAL	10,482	3,943
LEVEL 02		
OFFICE	11,616	
RESTROOMS/MEP/CORE+SHAFTS	1,356	
TERRACE		
TOTAL	12,972	0
LEVEL 01		
OFFICE (LOBBY)	590	
TERRACE/PLAZA		394
PLANTING		228
RETAIL/F&B - WEST TENANT	4,569	
RETAIL/F&B - EAST TENANT	3,323	
BOH / MEP - OFFICE	2,002	
BOH / MEP - for F&B/RETAIL	75	
TOTAL	10,559	622

ABOVE GROUND TOTAL **52,999**

	FLOOR AREA	OPEN SPACE
TOTAL AREA BREAKDOWN		
OFFICE	36,920	
RETAIL / F&B	7,892	
BOH / MEP / CORE+SHAFTS	8,187	
TERRACES		3,434
PLANTING AREA		2,886

OPEN SPACE

OPEN SPACE CALCS

The SSP requires that the project provides open space for a minimum of 15% of the gross site area. In the SSP, "Open space" is defined as "Both private and public areas left open and clear of building and designed to create a more pleasant and hospitable environment. Open space is landscaped and preferably includes amenities such as benches water fountains, public art, etc."

	SITE LOT AREA (SF)	MULTIPLIER	REQUIRED (SF)	PROVIDED (SF)
OPEN SPACE	18,608	15%	2,791	6,320

PARKING SUMMARY

PARKING CALCS

		AREA	REQUIRED STALLS
F&B - West Tenant	3.5 PER 1000 SF	4,569	15.00
F&B - Outdoor seating	3.5 PER 1000 SF	350	1.00
F&B - East Tenant (+MEP Retail SF)	3.5 PER 1000 SF	3,398	11.00
Second Use Reduction	50% reduction of all secondary use spaces		13.50
OFFICE	2 PER 1000 SF FIRST 25000 SF 1 PER 1000 SF (after first 25000sf)	25,000 20,032	50 20
LOADING	1 LOADING/40,000SF	45,032	2

TOTAL REQUIRED CAR PARKING **84**
TOTAL REQUIRED LOADING SPACES **2**

TOTAL RIDE SHARING SPACES PROVIDED (NOT REQUIRED) **2**

TOTAL PARKING PROVIDED **86**
TOTAL LOADING PROVIDED **2**

STALL TYPES	LL01	LLO2	LL03	TOTAL TYPES
ADA STANDARD	4			4
ADA VAN	2			2
COMPACT (40% MAX)	9	12	13	34
STANDARD	1	10	15	26
ELECTRIC CHARGING (EV)	6	8	6	20

TOTAL = 40%

TOTAL PARKING **24** **30** **34** **86**

LOADING **2** **2**
TOTAL LOADING **2**

TOTAL EV PARKING (20% OF TOTAL REQ'D PARKING) **20**
ADDITIONAL EV CAPABLE PARKING **20**

BIKE PARKING CALCS

		REQUIRED	PROVIDED
SHORT-TERM	1 PER EA 5,000 - 9,999 SF	1	1
	1 PER EA ADDITIONAL 10,000 SF	5	5
LONG-TERM	1 PER 7,500 SF	8	10

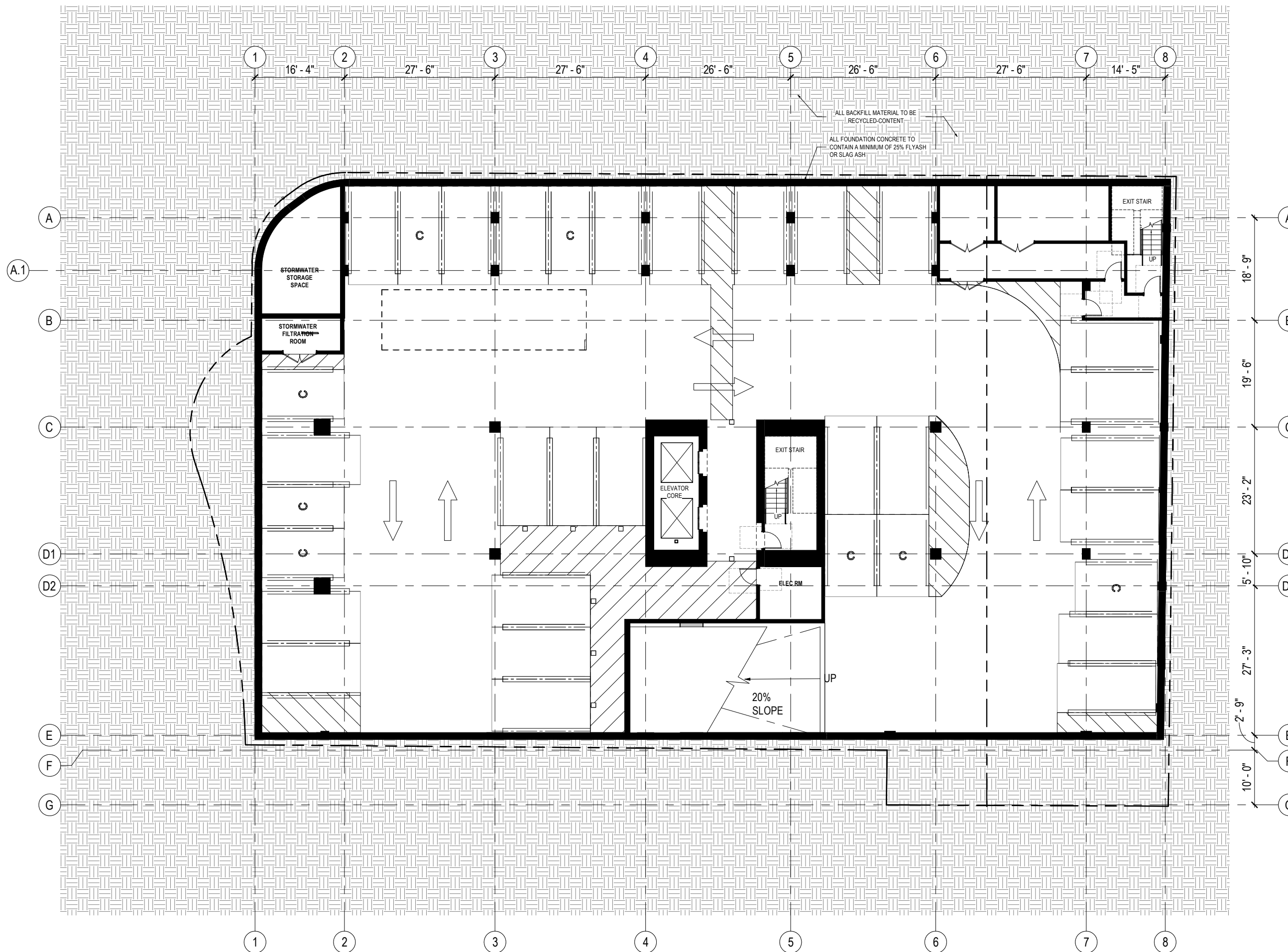
TOTAL REQUIRED BIKE PARKING **14**
TOTAL BIKE PARKING PROVIDED **16**

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TOTAL PARKING COUNT	
STALL TYPE	COUNT

ADA STANDARD 9'-6"	2
ADA VAN 9'-0"	2
CAV	2
CAV 9'-6"	1
CAV COMPACT	2
CAV COMPACT 8'-0"	1
CAV COMPACT 8'-0" SHORT	2
COMPACT - 8'-0" width	8
COMPACT - 8'-0" width 18' long	1
COMPACT - 8'-6" width	2
COMPACT - 9'-0" width	5
COMPACT - 9'-6" width	7
EV 9'-0"	3
EV 9'-6"	11
EV COMPACT 8'-6"	3
EV COMPACT 9'-0"	4
EV VAN	1
STANDARD 8'-6"	2
STANDARD 9'-0"	21
STANDARD 9'-6" * 2 LOADING	6

Date	Description
12/23/2019	ENTITLEMENT PRE-SUBMITTAL
03/19/2020	ENTITLEMENT SUBMITTAL
12/04/2020	ENTITLEMENT PRE-SUBMITTAL
01/29/2021	ENTITLEMENT RE-SUBMITTAL
03/12/2021	SCHEMATIC DESIGN ISSUANCE
02/04/2022	ENTITLEMENT SUBMITTAL UPDATES

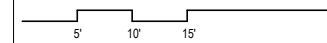
Seal / Signature

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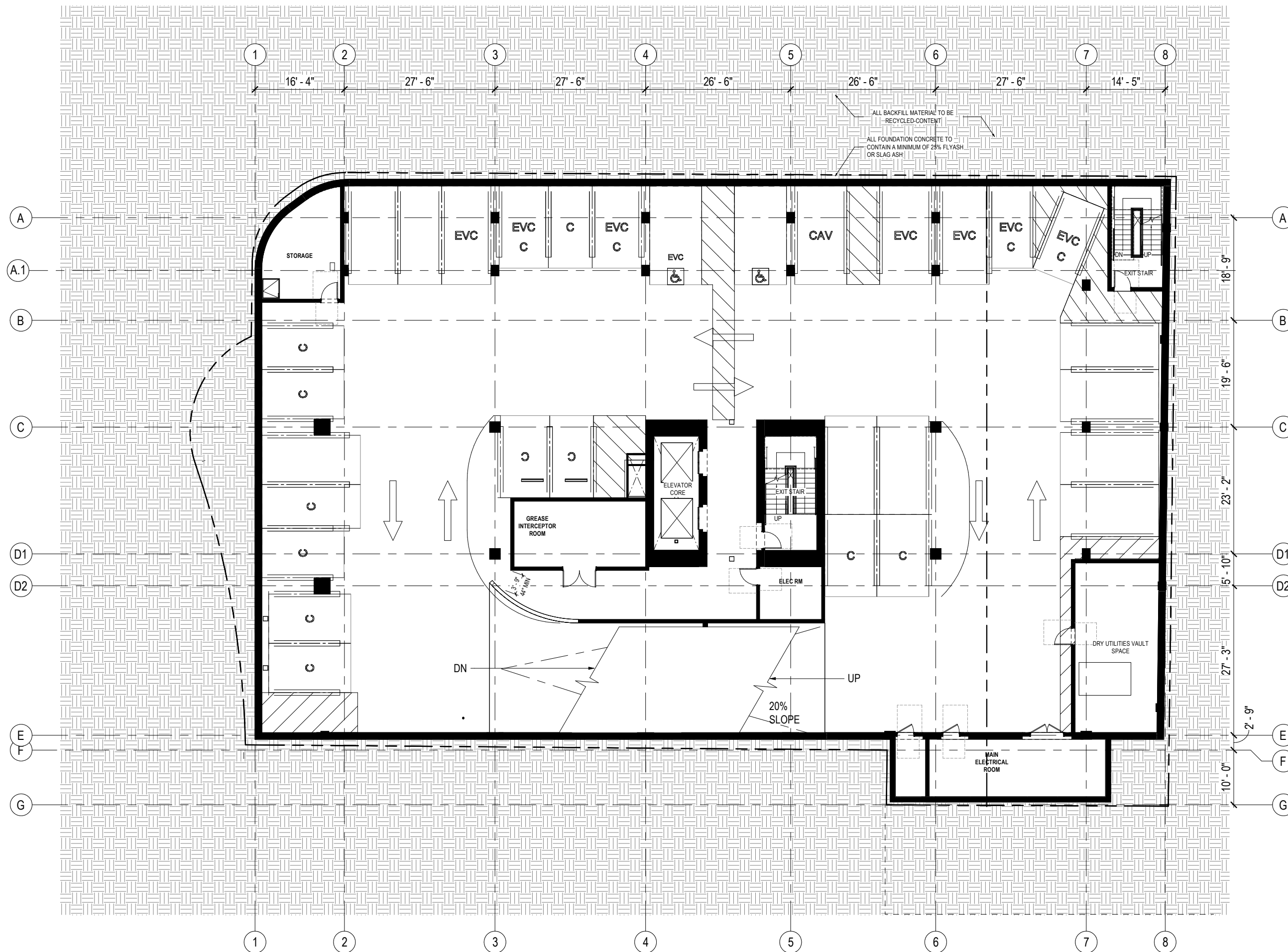
Project Name
 9176 SUNSET

Project Number
 05.2543.000

Description
 FLOOR PLAN - LOWER LEVEL 03



A2.00



TOTAL PARKING COUNT	
STALL TYPE	COUNT

ADA STANDARD 9'-6"	2
ADA VAN 9'-0"	2
CAV	2
CAV 9'-6"	1
CAV COMPACT	2
CAV COMPACT 8'-0"	1
CAV COMPACT 8'-0" SHORT	2
COMPACT - 8'-0" width	8
COMPACT - 8'-0" width 18' long	1
COMPACT - 8'-6" width	2
COMPACT - 9'-0" width	5
COMPACT - 9'-6" width	7
EV 9'-0"	3
EV 9'-6"	11
EV COMPACT 8'-6"	3
EV COMPACT 9'-0"	4
EV VAN	1
STANDARD 8'-6"	2
STANDARD 9'-0"	21
2 LOADING 8'-6"	6
86	

Date	Description
12/23/2019	ENTITLEMENT PRE-SUBMITTAL
03/19/2020	ENTITLEMENT SUBMITTAL
12/04/2020	ENTITLEMENT PRE-SUBMITTAL
01/29/2021	ENTITLEMENT RE-SUBMITTAL
03/12/2021	SCHEMATIC DESIGN ISSUANCE
02/04/2022	ENTITLEMENT SUBMITTAL UPDATES

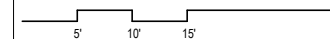
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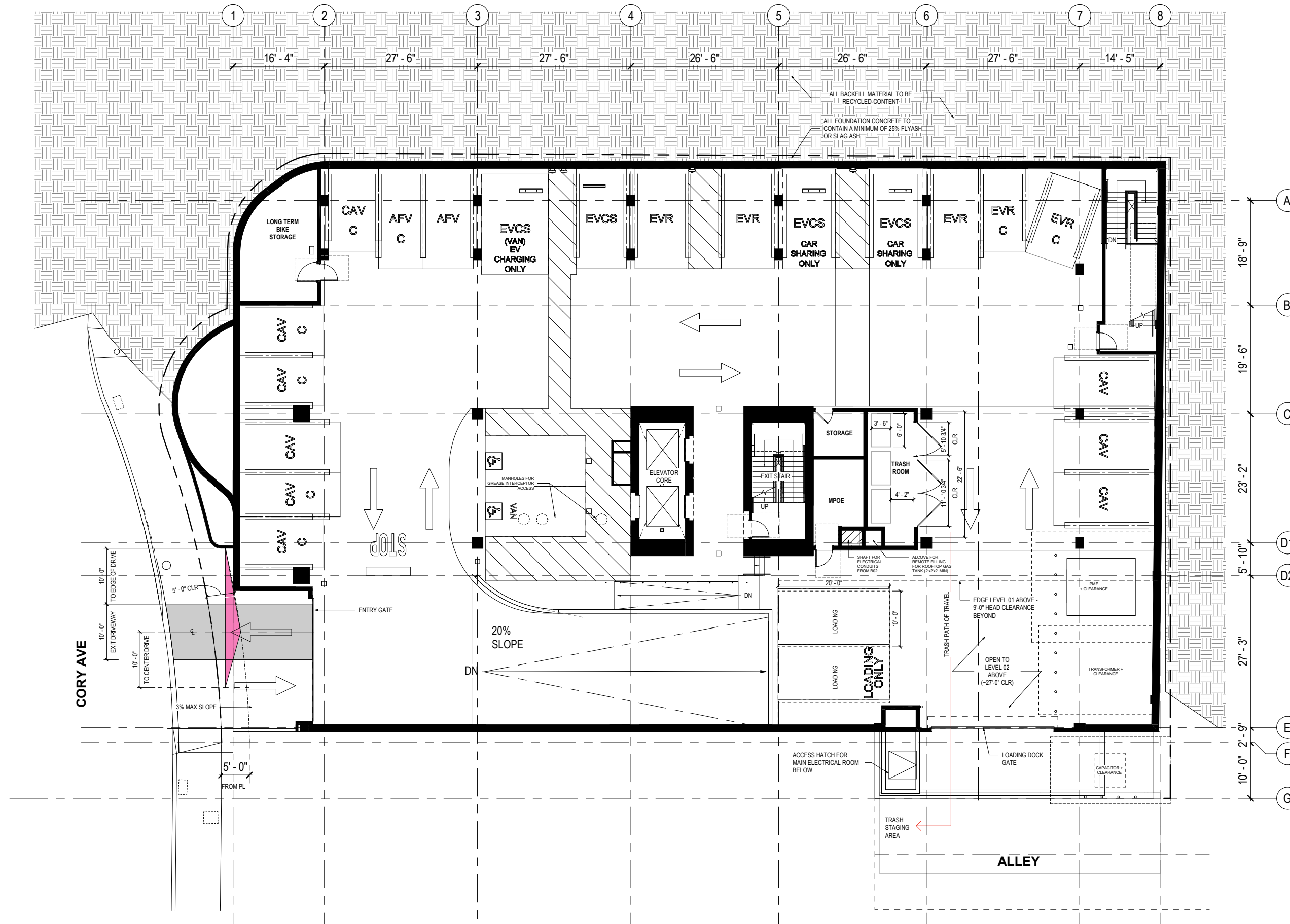
Project Name
 9176 SUNSET

Project Number
 05.2543.000

Description
 FLOOR PLAN - LOWER LEVEL 02



A2.01



TOTAL PARKING COUNT	
STALL TYPE	COUNT
ADA STANDARD 9'-6"	2
ADA VAN 9'-0"	2
CAV	2
CAV 9'-6"	1
CAV COMPACT	2
CAV COMPACT 8'-0"	1
CAV COMPACT 8'-0" SHORT	2
COMPACT - 8'-0" width	8
COMPACT - 8'-0" width 18' long	1
COMPACT - 8'-6" width	2
COMPACT - 9'-0" width	5
COMPACT - 9'-6" width	7
EV 9'-0"	3
EV 9'-6"	11
EV COMPACT 8'-6"	3
EV COMPACT 9'-0"	4
EV VAN	1
STANDARD 8'-6"	2
STANDARD 9'-0"	21
STANDARD 9'-6"	6
86	

+ 2 LOADING

Date	Description
03/19/2020	ENTITLEMENT SUBMITTAL
12/04/2020	ENTITLEMENT PRE-SUBMITTAL
01/29/2021	ENTITLEMENT RE-SUBMITTAL
03/12/2021	SCHEMATIC DESIGN ISSUANCE
02/04/2022	ENTITLEMENT SUBMITTAL UPDATES

Seal / Signature

NOT FOR CONSTRUCTION

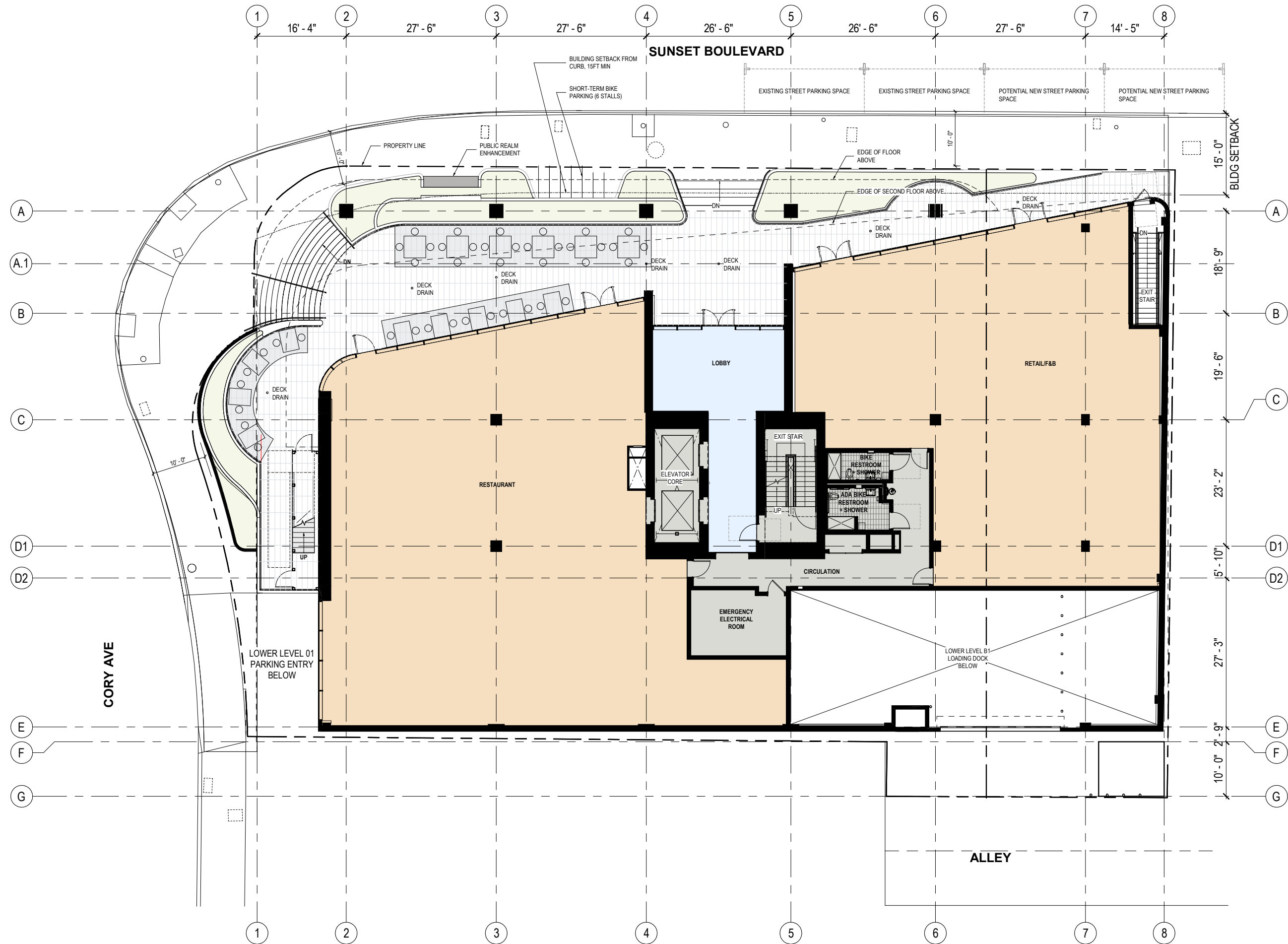
Project Name
9176 SUNSET

Project Number
05.2543.000

Description
FLOOR PLAN - LOWER LEVEL 01



A2.02



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Date	Description
12/23/2019	ENTITLEMENT PRE-SUBMITTAL
03/19/2020	ENTITLEMENT SUBMITTAL
12/04/2020	ENTITLEMENT PRE-SUBMITTAL
01/29/2021	ENTITLEMENT RE-SUBMITTAL
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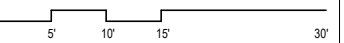
Seal / Signature

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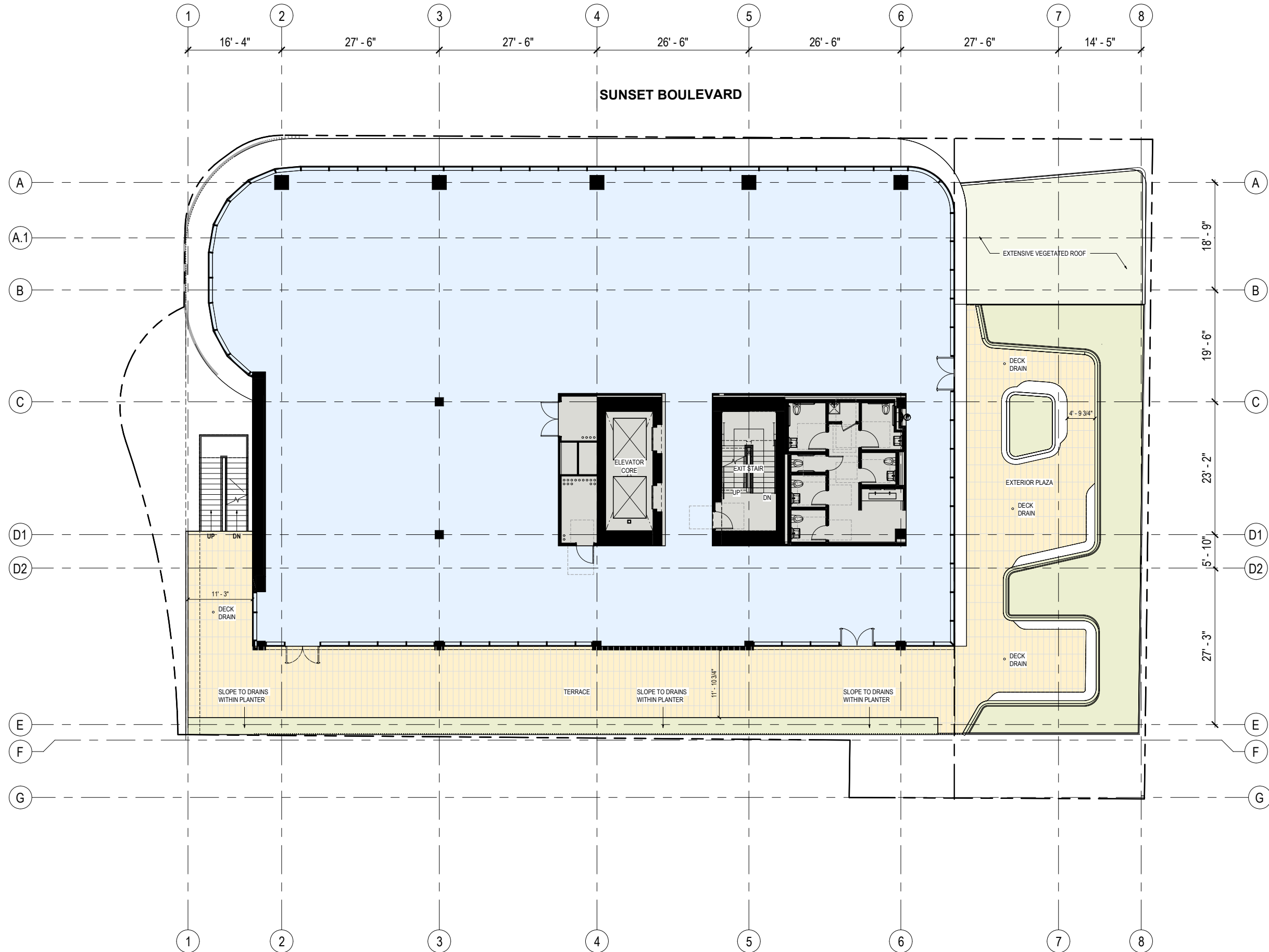
Project Name
9176 SUNSET

Project Number
05.2543.000

Description
FLOOR PLAN - LEVEL 01



A2.03



Date	Description
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03/19/2020	ENTITLEMENT SUBMITTAL
12/04/2020	ENTITLEMENT PRE-SUBMITTAL
01/29/2021	ENTITLEMENT RE-SUBMITTAL
03/12/2021	SCHEMATIC DESIGN ISSUANCE
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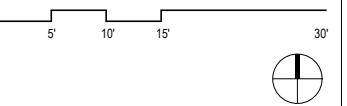
Seal / Signature

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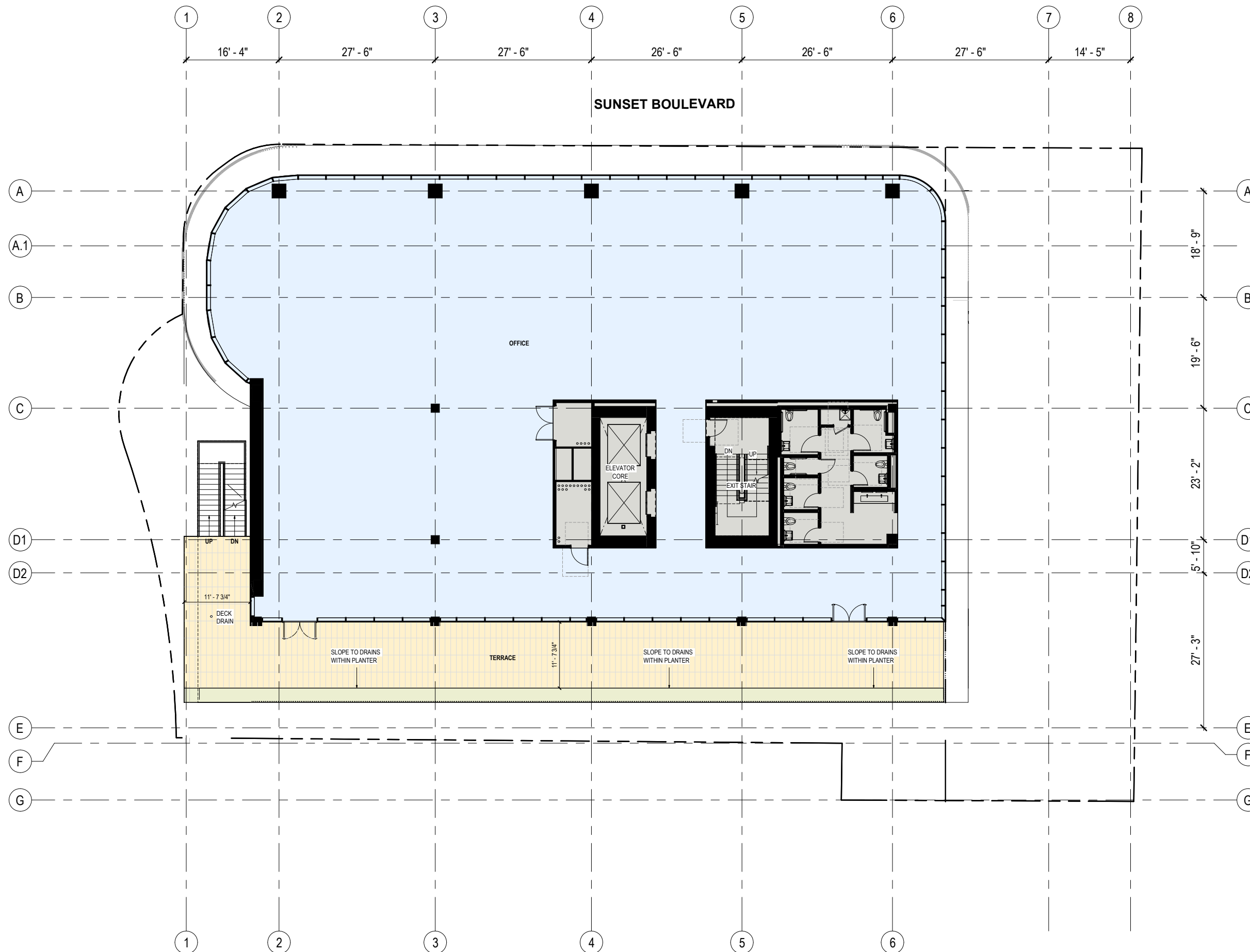
Project Name
9176 SUNSET

Project Number
05.2543.000

Description
FLOOR PLAN - LEVEL 03



A2.05



Date	Description
12/23/2019	ENTITLEMENT PRE-SUBMITTAL
03/19/2020	ENTITLEMENT SUBMITTAL
12/04/2020	ENTITLEMENT PRE-SUBMITTAL
01/29/2021	ENTITLEMENT RE-SUBMITTAL
03/12/2021	SCHEMATIC DESIGN ISSUANCE
02/04/2022	ENTITLEMENT SUBMITTAL UPDATES

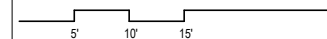
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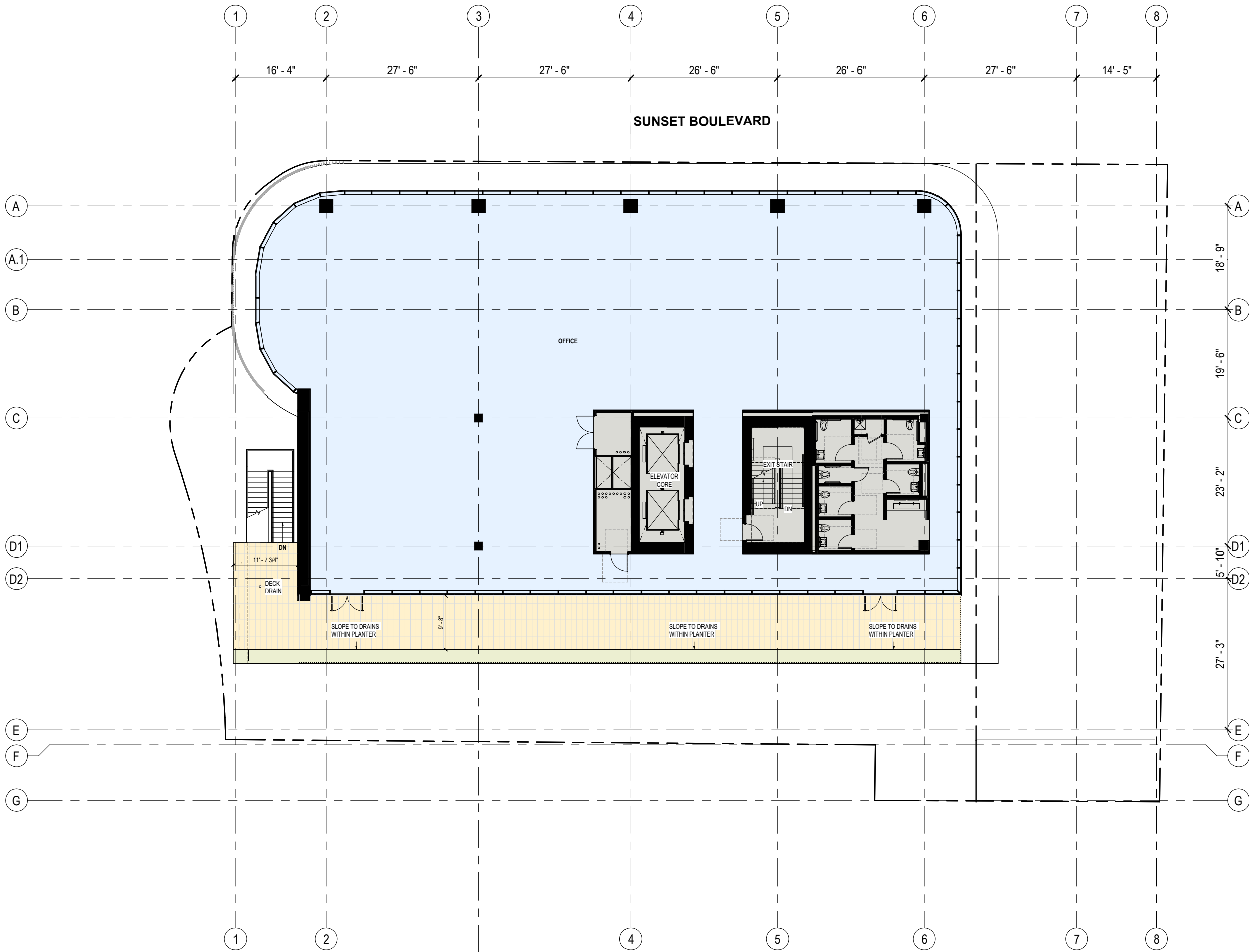
Project Name
 9176 SUNSET

Project Number
 05.2543.000

Description
 FLOOR PLAN - LEVEL 04



A2.06



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Date	Description
12/23/2019	ENTITLEMENT PRE-SUBMITTAL
03/19/2020	ENTITLEMENT SUBMITTAL
12/04/2020	ENTITLEMENT PRE-SUBMITTAL
01/29/2021	ENTITLEMENT RE-SUBMITTAL
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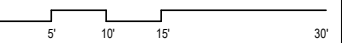
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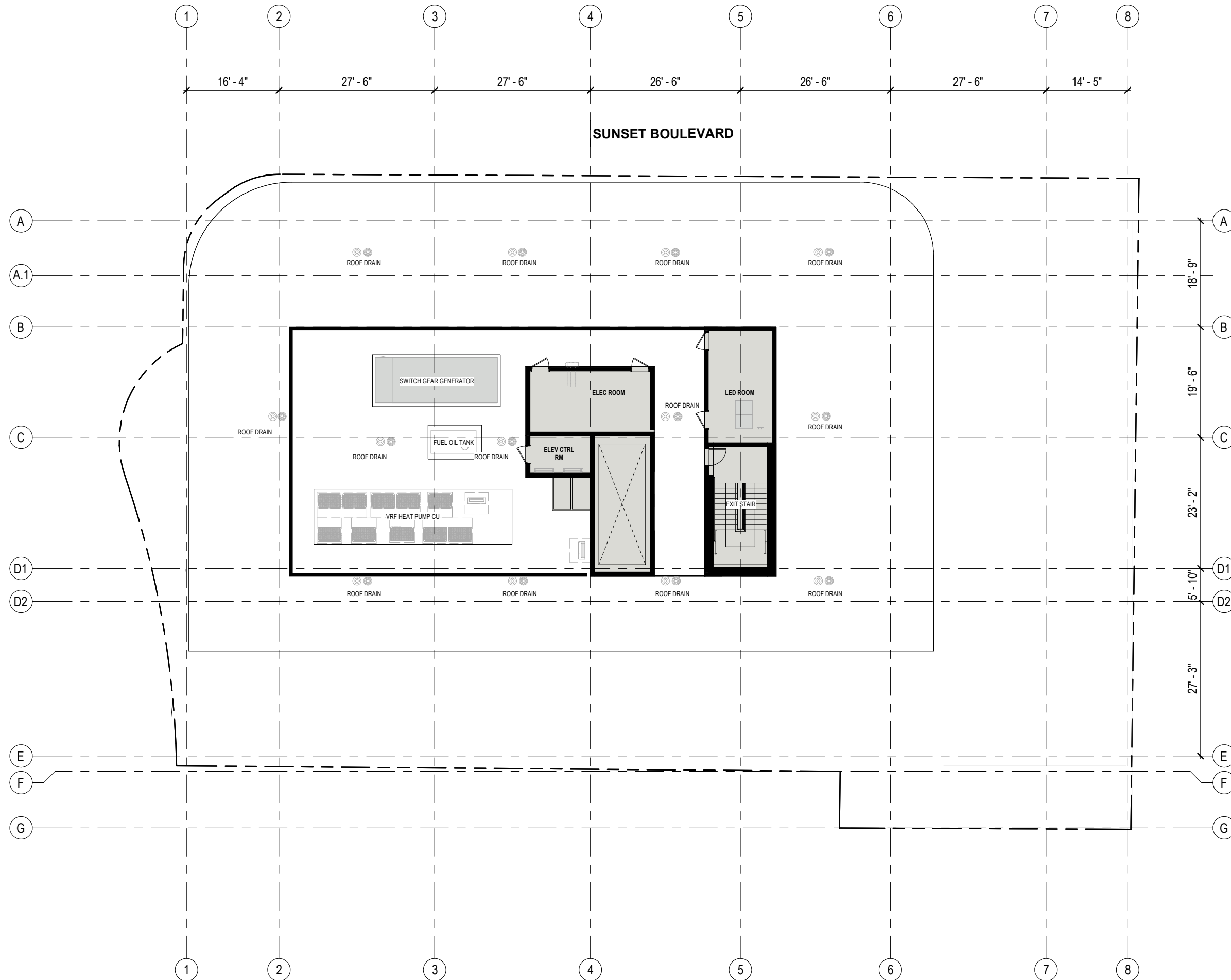
Project Name
9176 SUNSET

Project Number
05.2543.000

Description
FLOOR PLAN - LEVEL 05



A2.07



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Date	Description
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03/19/2020	ENTITLEMENT SUBMITTAL
12/04/2020	ENTITLEMENT PRE-SUBMITTAL
01/29/2021	ENTITLEMENT RE-SUBMITTAL
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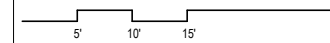
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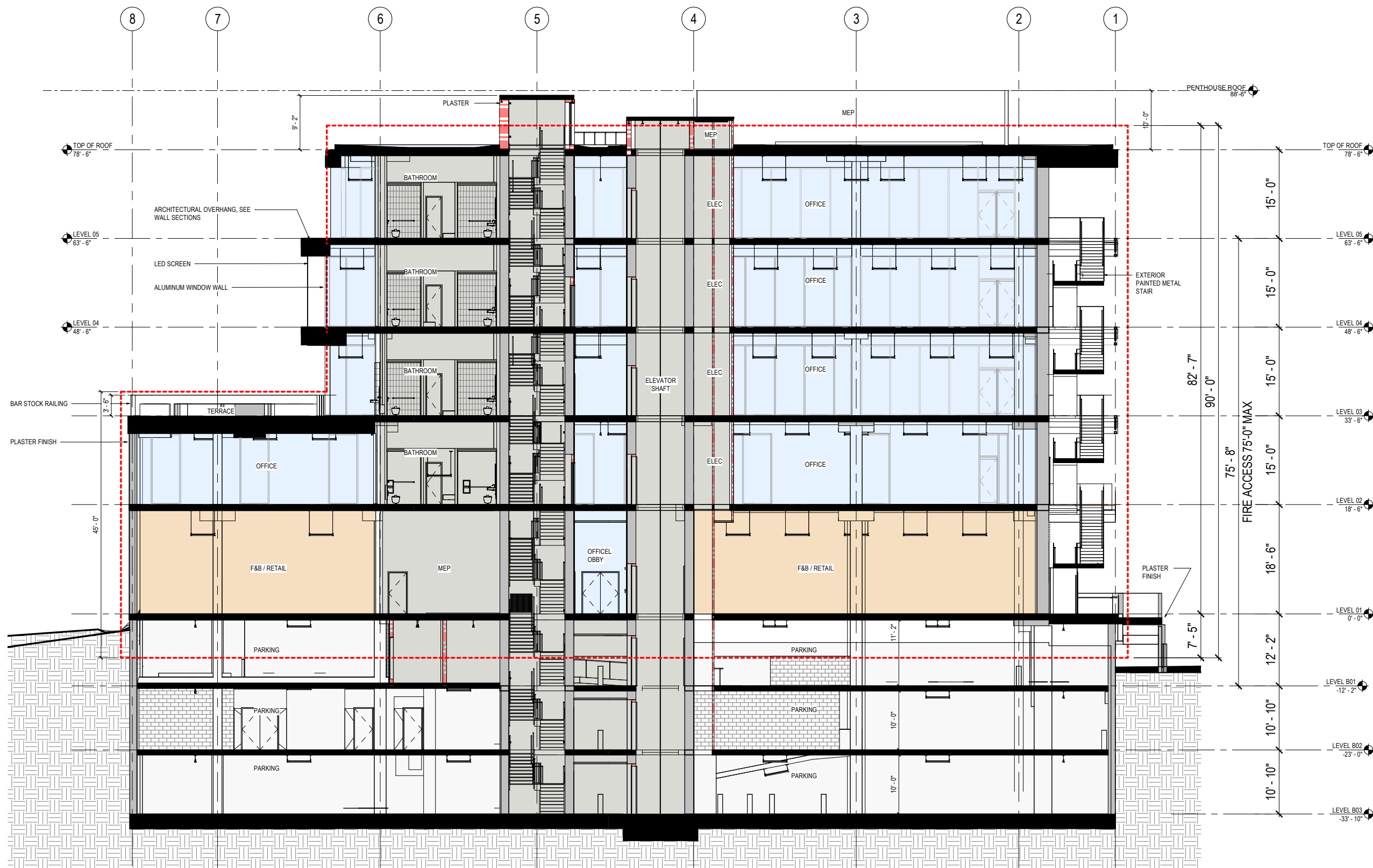
Project Name
9176 SUNSET

Project Number
05.2543.000

Description
FLOOR PLAN - LEVEL 06 - ROOF



A2.08



Date	Description
12/23/2019	ENTITLEMENT PRE-SUBMITTAL
03/19/2020	ENTITLEMENT SUBMITTAL
12/04/2020	ENTITLEMENT PRE-SUBMITTAL
01/29/2021	ENTITLEMENT RE-SUBMITTAL
03/12/2021	SCHEMATIC DESIGN ISSUANCE
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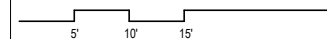
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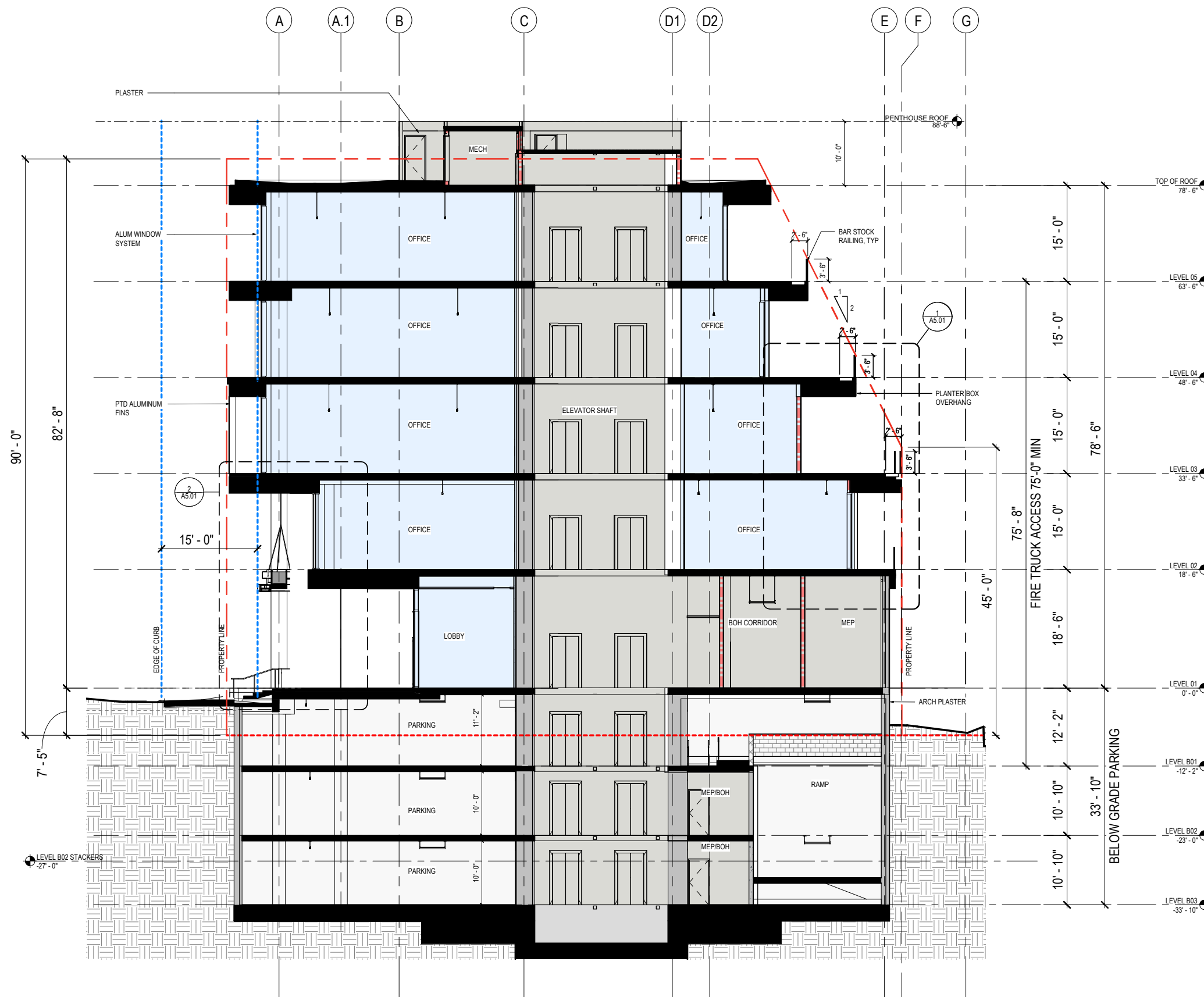
Project Name
 9176 SUNSET

Project Number
 05.2543.000

Description
 E/W BUILDING SECTION @ GL C



A3.01



Date	Description
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03/19/2020	ENTITLEMENT SUBMITTAL
12/04/2020	ENTITLEMENT PRE-SUBMITTAL
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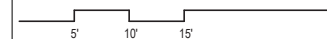
Seal / Signature

NOT FOR CONSTRUCTION

Project Name
 9176 SUNSET

Project Number
 05.2543.000

Description
 N/S BUILDING SECTION @ GL 4/5

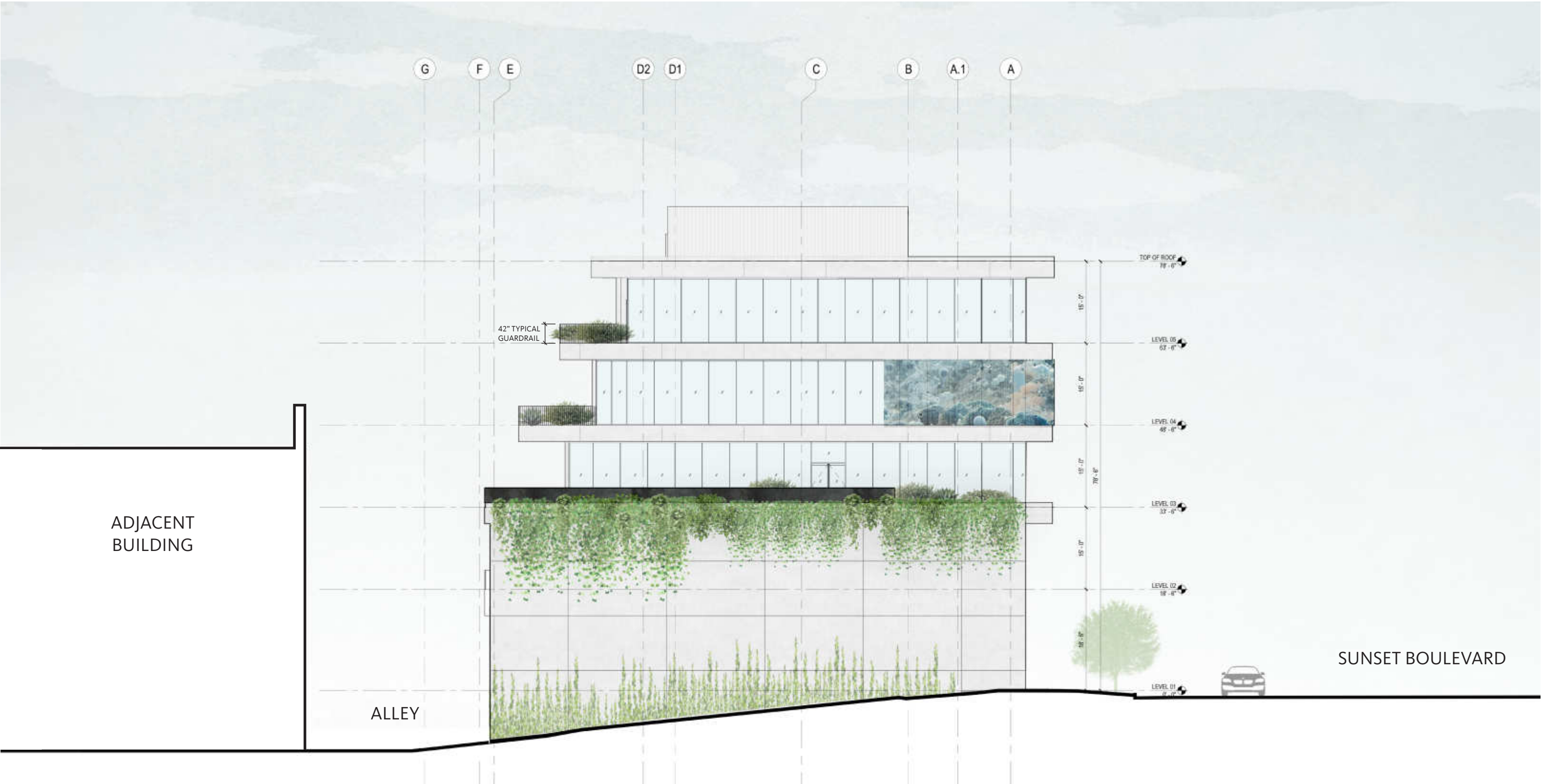


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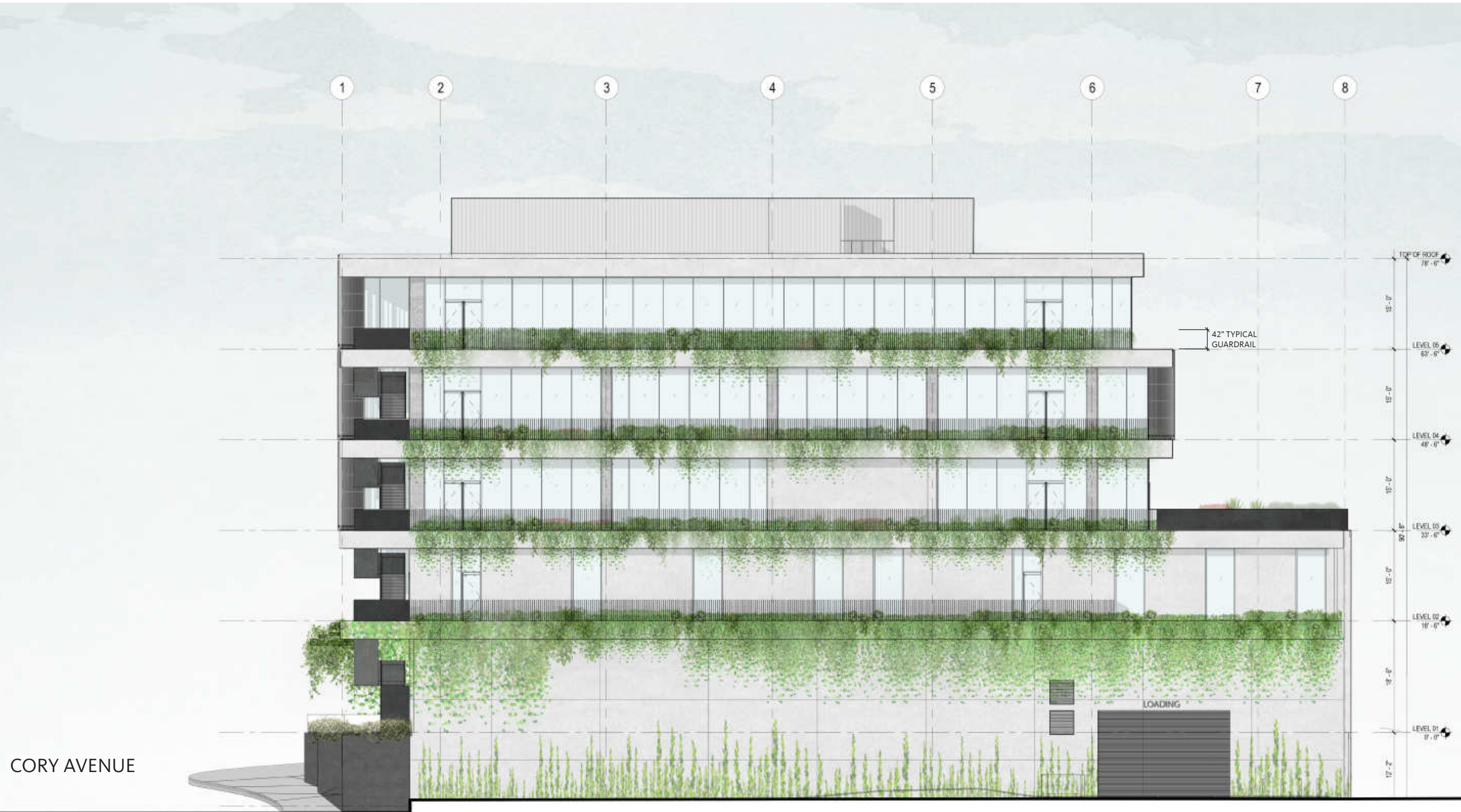
EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION



SUNSET BOULEVARD AT CORY AVENUE - LANDMARK CORNER



SUNSET BOULEVARD AT CORY AVENUE - VIEW EAST



SUNSET BOULEVARD - VIEW SOUTH



SUNSET BOULEVARD - VIEW WEST



CORY AVENUE - VIEW NORTH



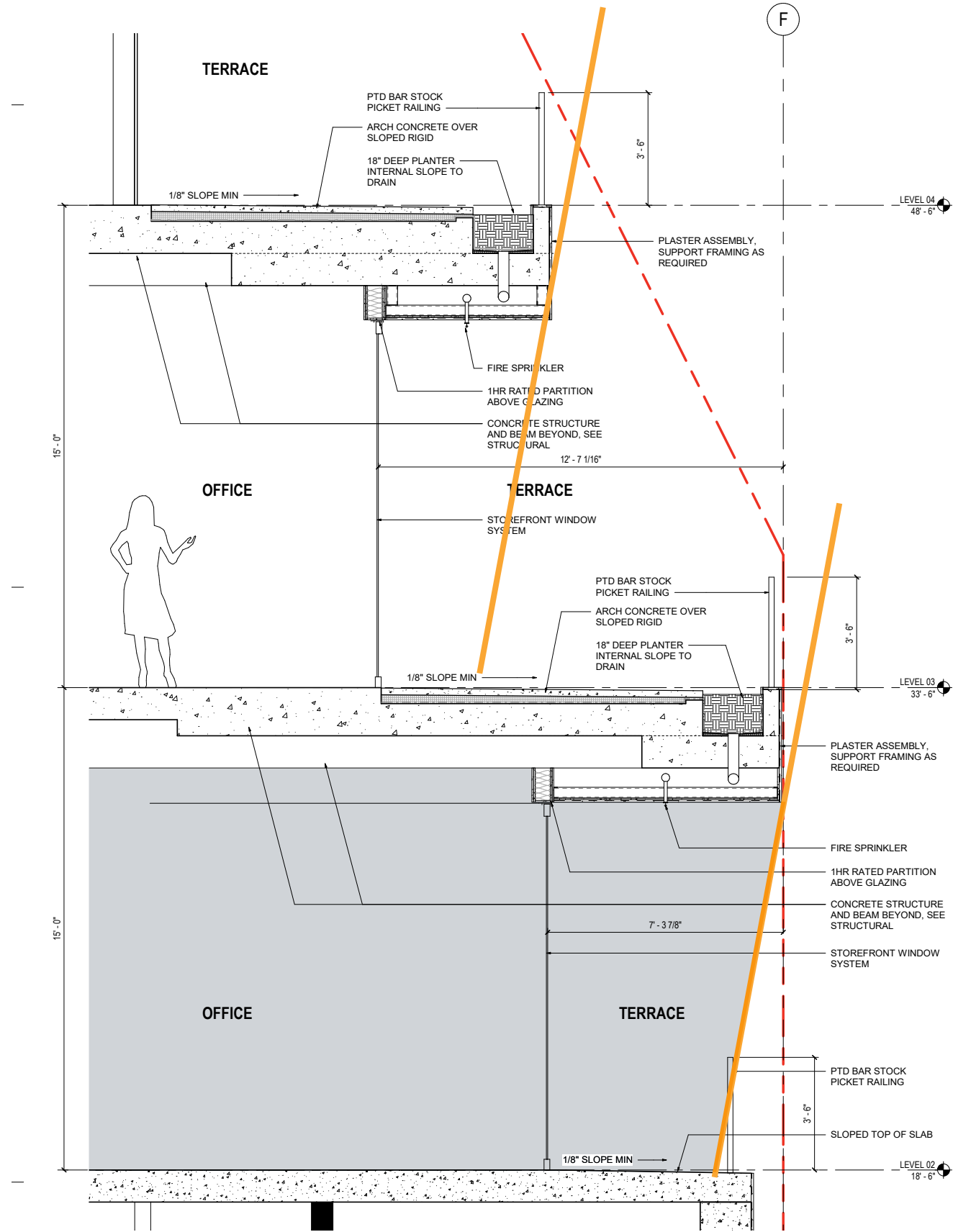
SUNSET BOULEVARD AT CORY AVENUE - GRAND STAIRWAY



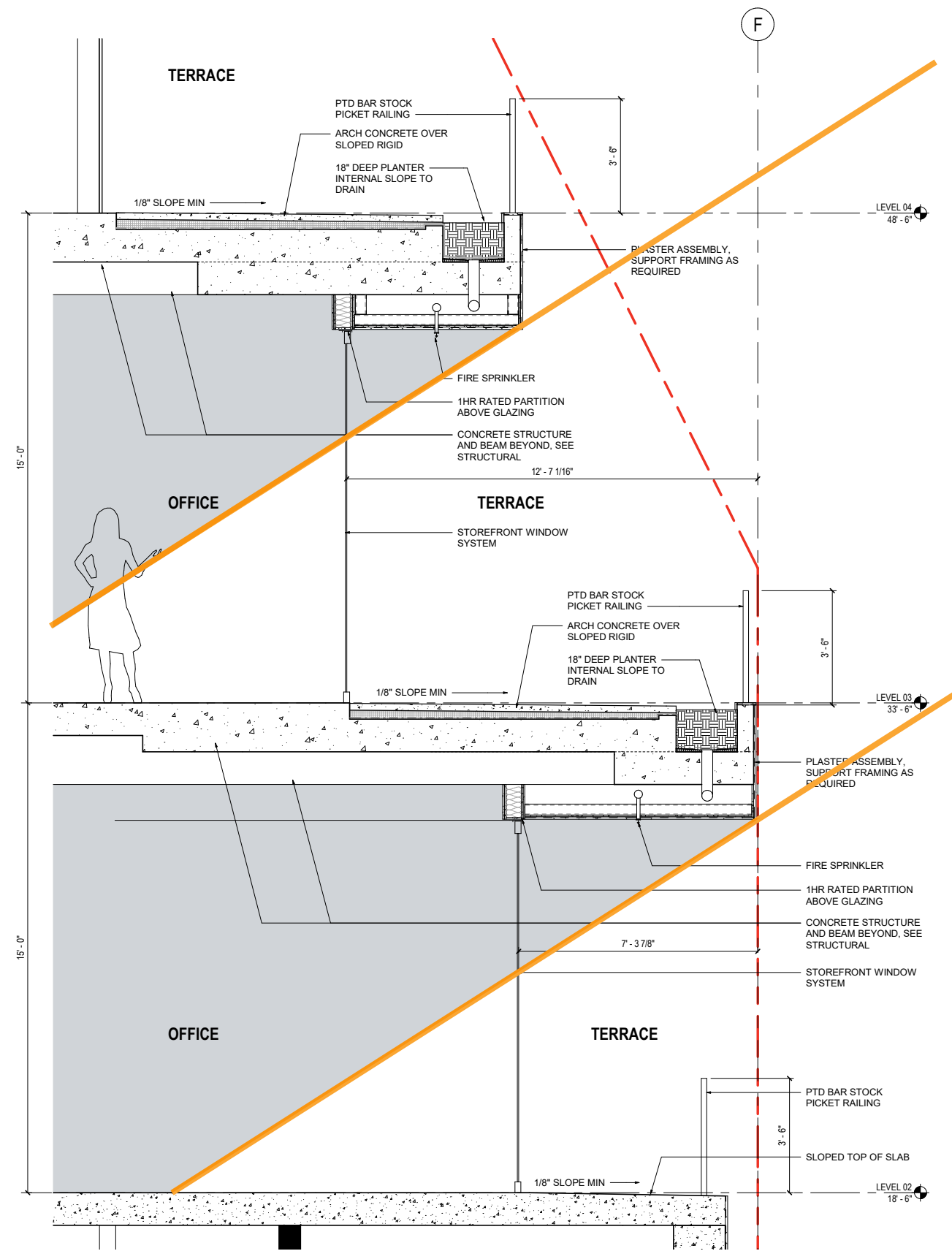
GROUND FLOOR - OUTDOOR DINING TERRACE



PASSIVE ENERGY ANALYSIS - OVERHANG PLANTER



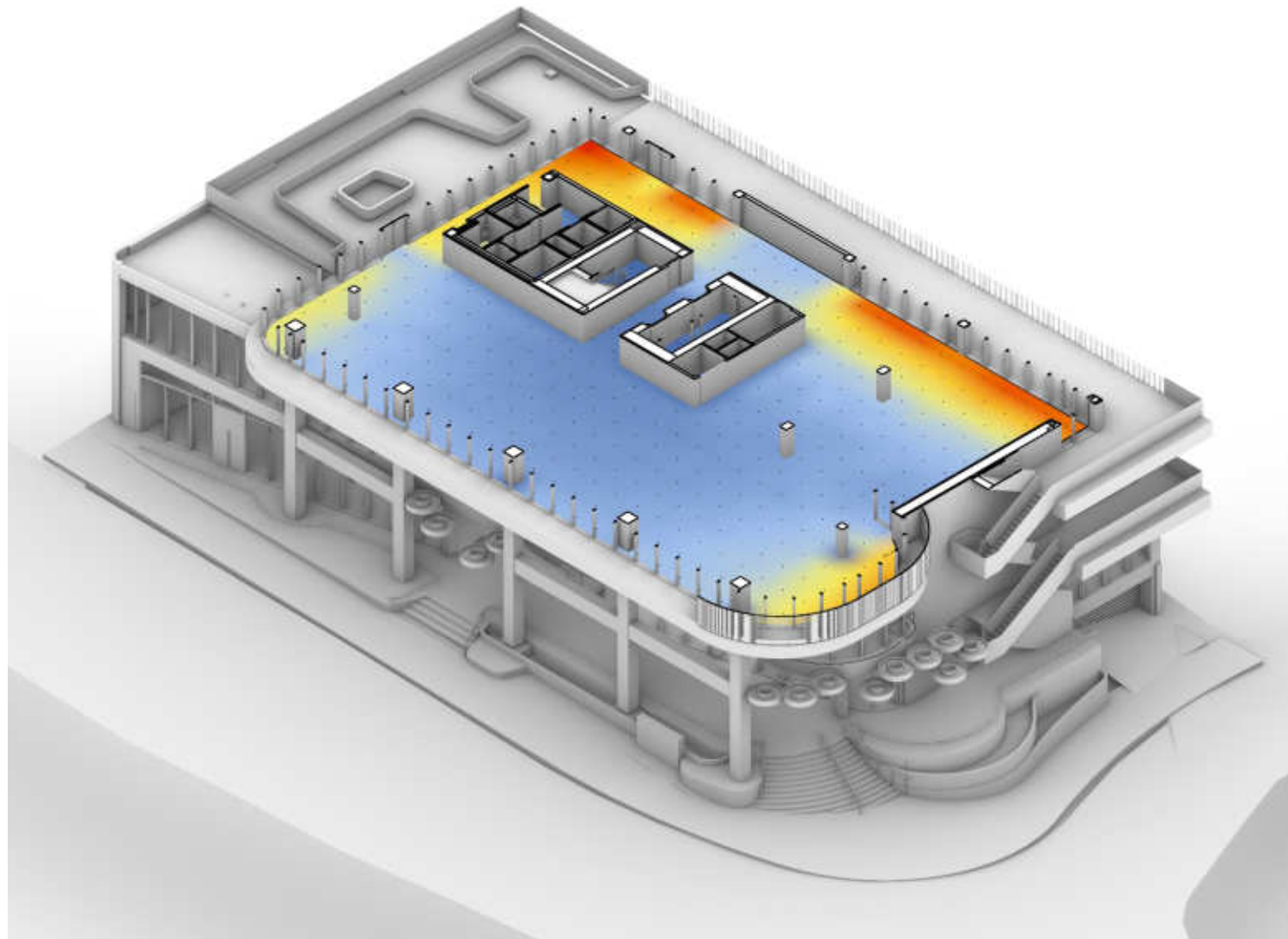
SUMMER SOLSTICE NOON SUN ANGLE



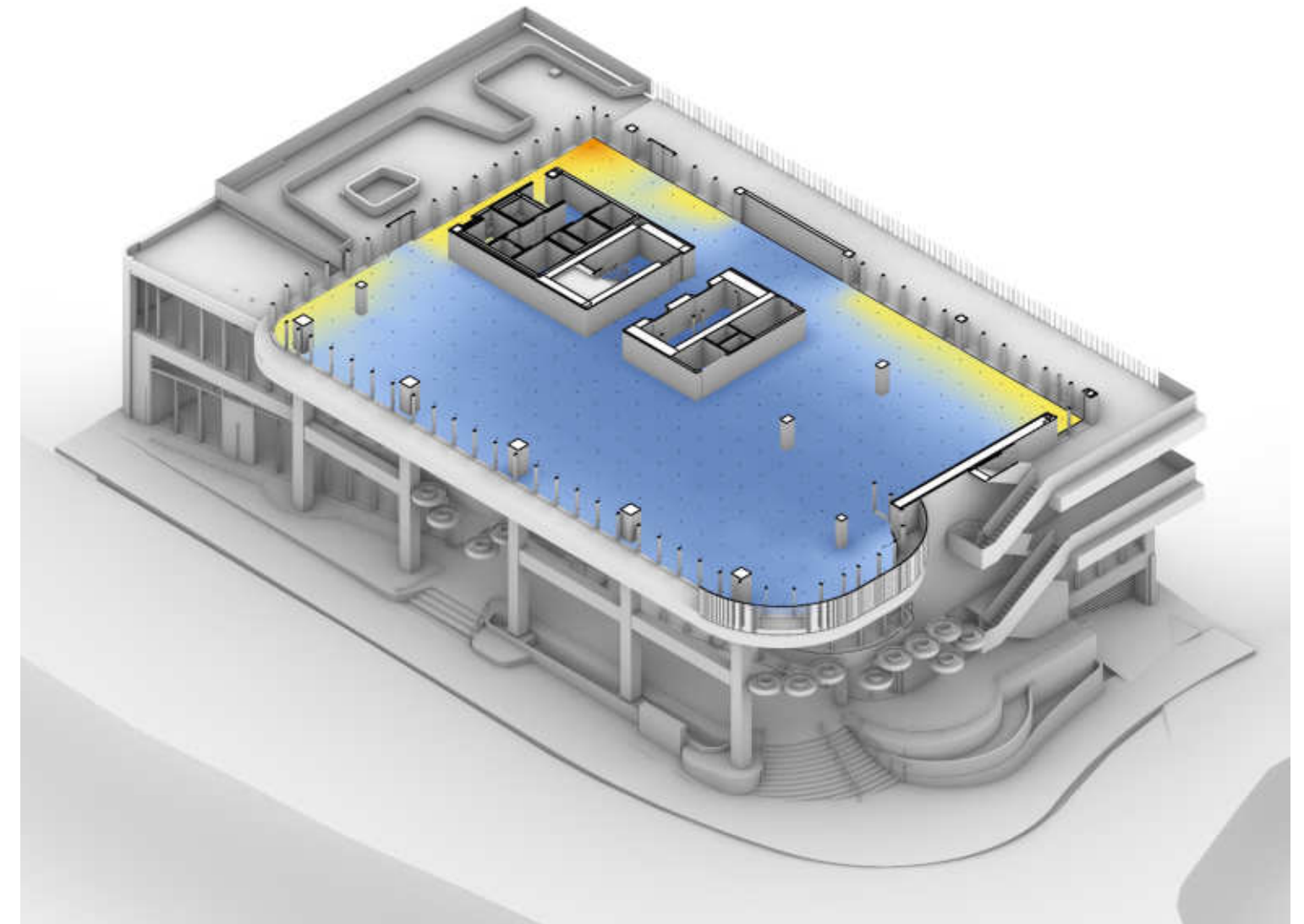
WINTER SOLSTICE NOON SUN ANGLE

PASSIVE ENERGY ANALYSIS - SOLAR RADIATION MAP LEVEL 3

BEFORE LED BLADES AND OVERHANG



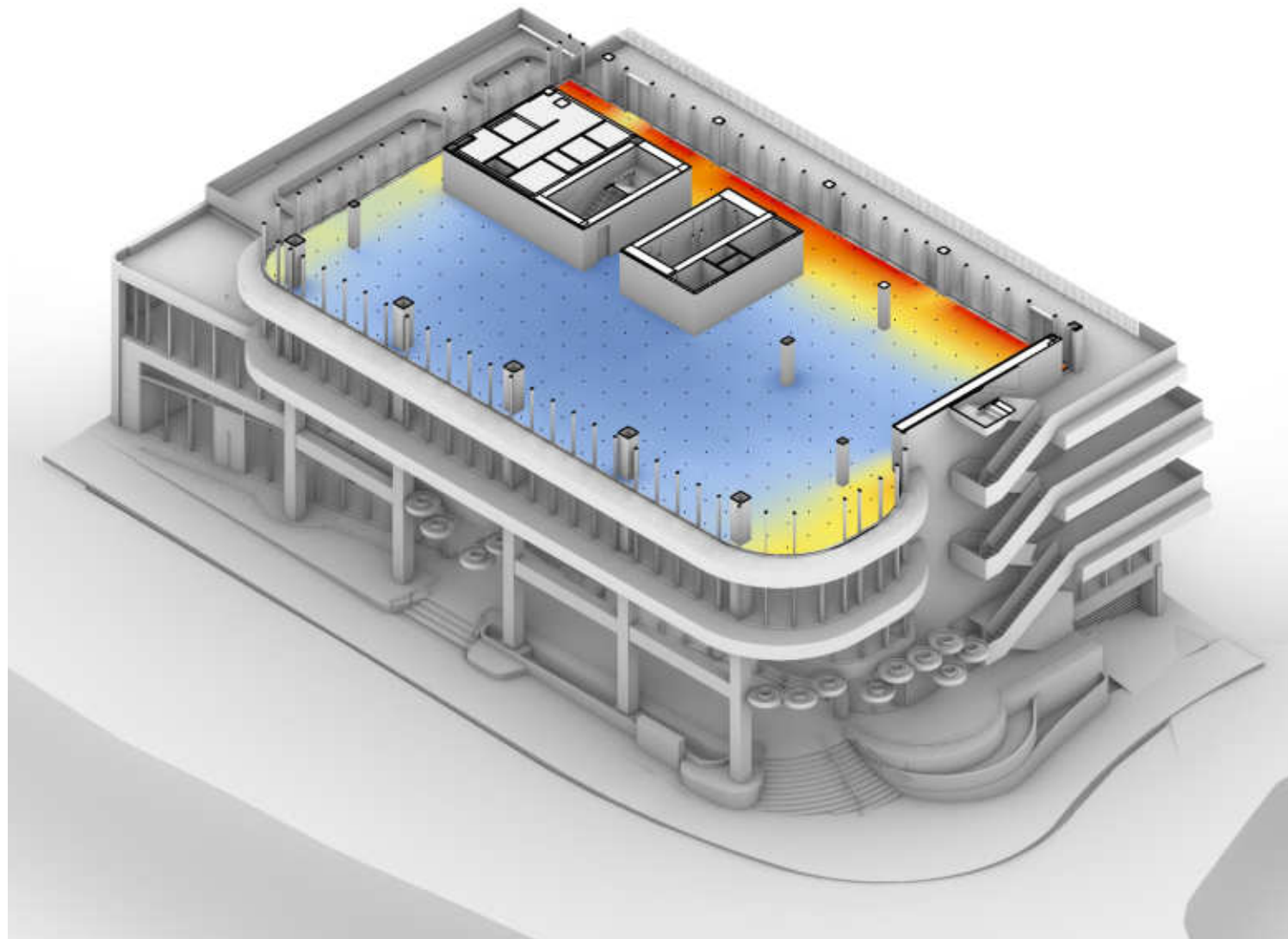
AFTER LED BLADES AND OVERHANG



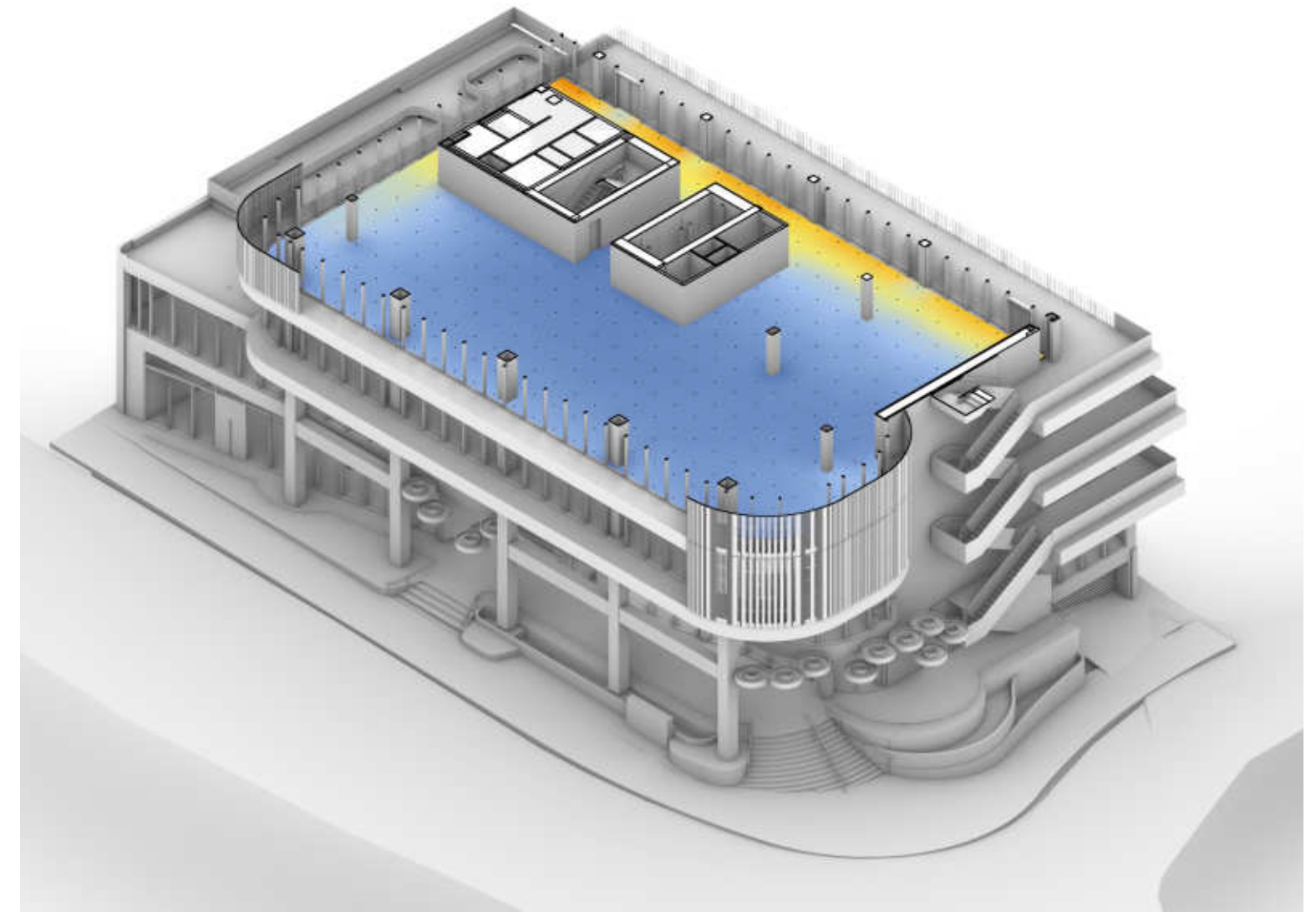
DIRECT SOLAR RADIATION REDUCTION = 56%
INDIRECT SOLAR RADIATION REDUCTION = 26%
OVERALL SOLAR RADIATION REDUCTION = **34%**

PASSIVE ENERGY ANALYSIS - SOLAR RADIATION MAP LEVEL 4

BEFORE LED BLADES AND OVERHANG



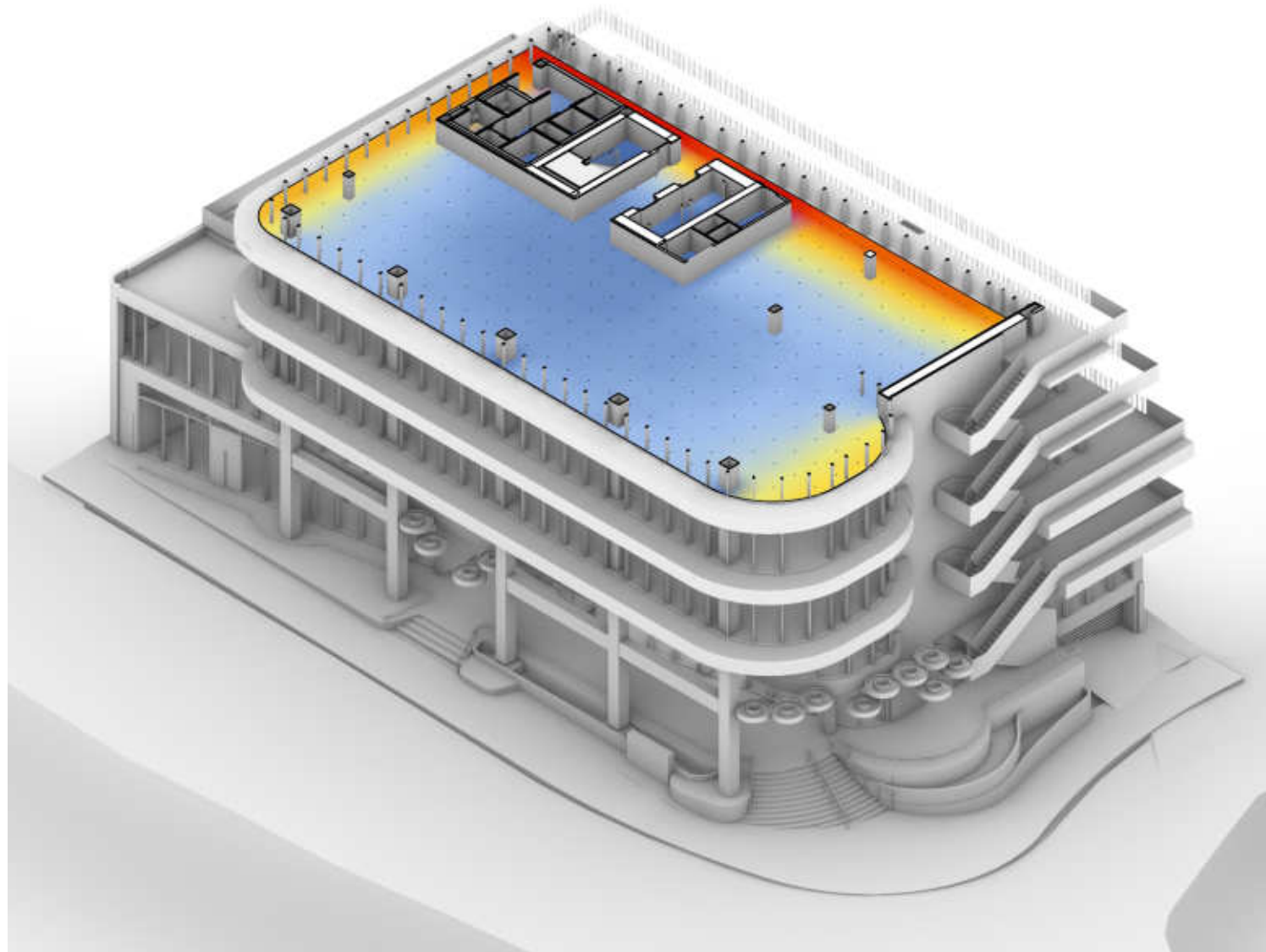
AFTER LED BLADES AND OVERHANG



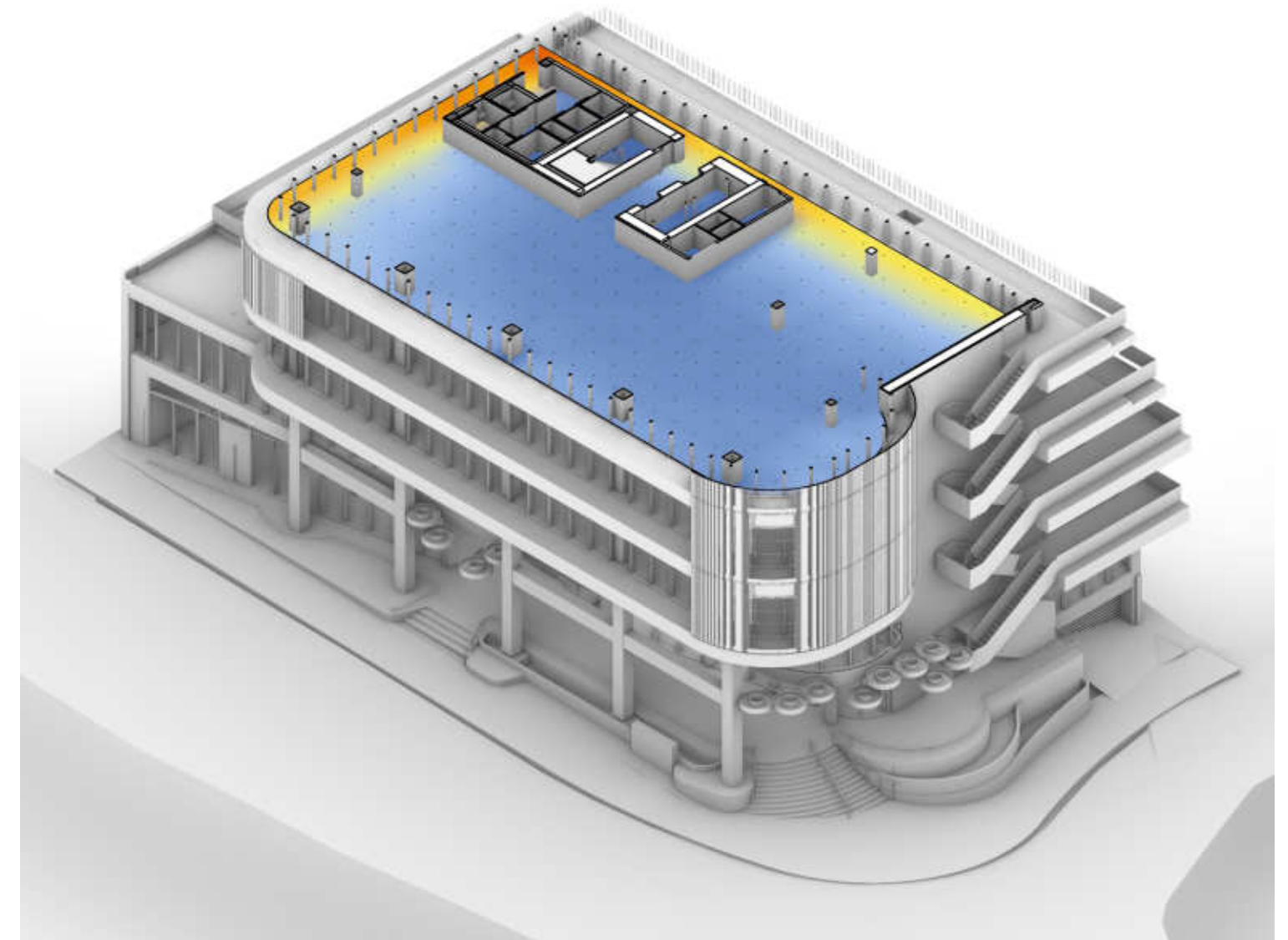
DIRECT SOLAR RADIATION REDUCTION = 53%
INDIRECT SOLAR RADIATION REDUCTION = 26%
OVERALL SOLAR RADIATION REDUCTION = **34%**

PASSIVE ENERGY ANALYSIS - SOLAR RADIATION MAP LEVEL 5

BEFORE LED BLADES AND OVERHANG



AFTER LED BLADES AND OVERHANG



DIRECT SOLAR RADIATION REDUCTION = 42%
INDIRECT SOLAR RADIATION REDUCTION = 22%
OVERALL SOLAR RADIATION REDUCTION = **20%**

THIRD FLOOR INTERIOR - VIEW NORTH



FIFTH FLOOR INTERIOR - VIEW SOUTH



MATERIALS PALETTE



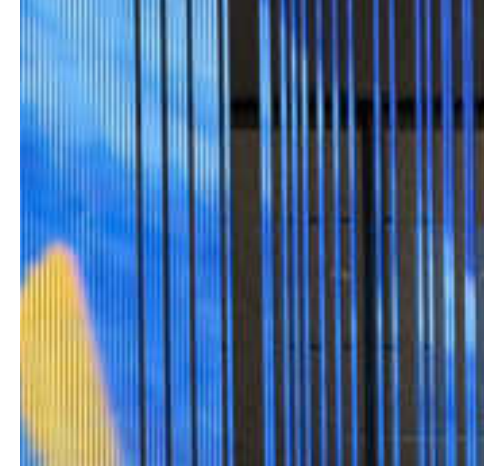
01. PRECAST CONCRETE PANELS



02. PAINTED STEEL PICKET GUARDRAILS



03. EXPOSED CONCRETE



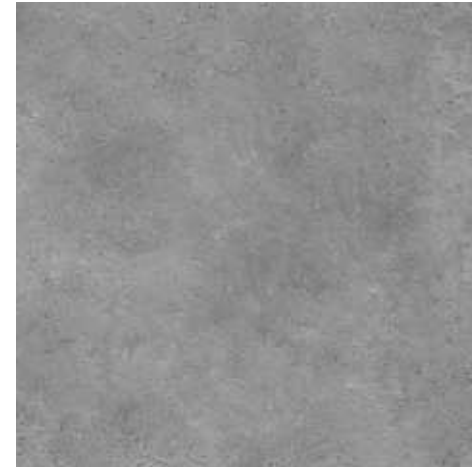
04. LED MEDIA FACADE



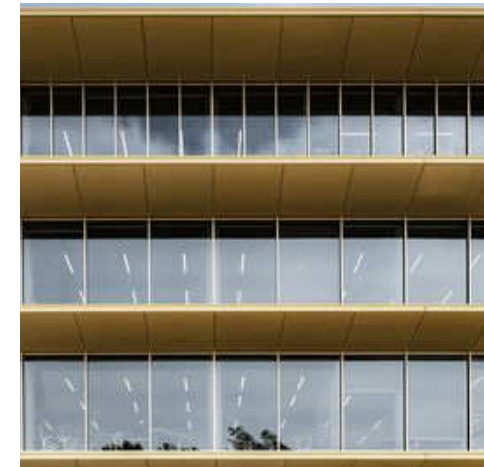
05. LOW-E COATED GLAZING



06. DECORATIVE CONCRETE



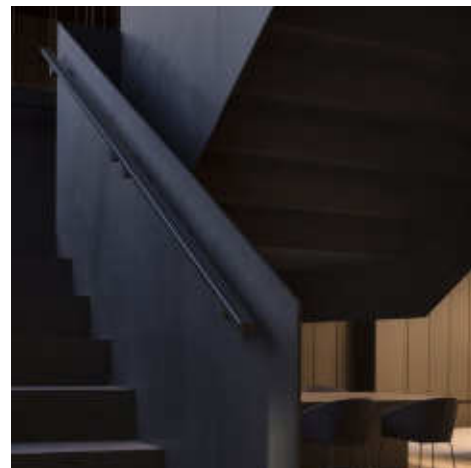
07. PLASTER



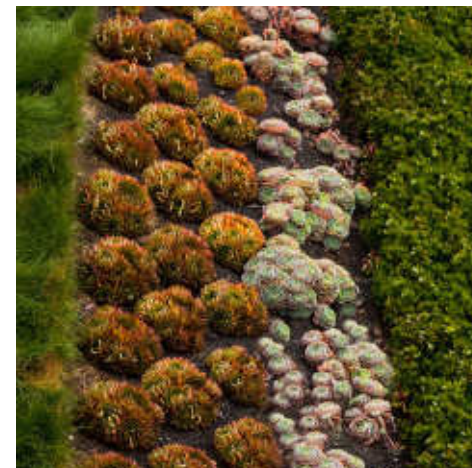
08. ALUMINUM WINDOW WALL



09. CORRUGATED METAL PANEL









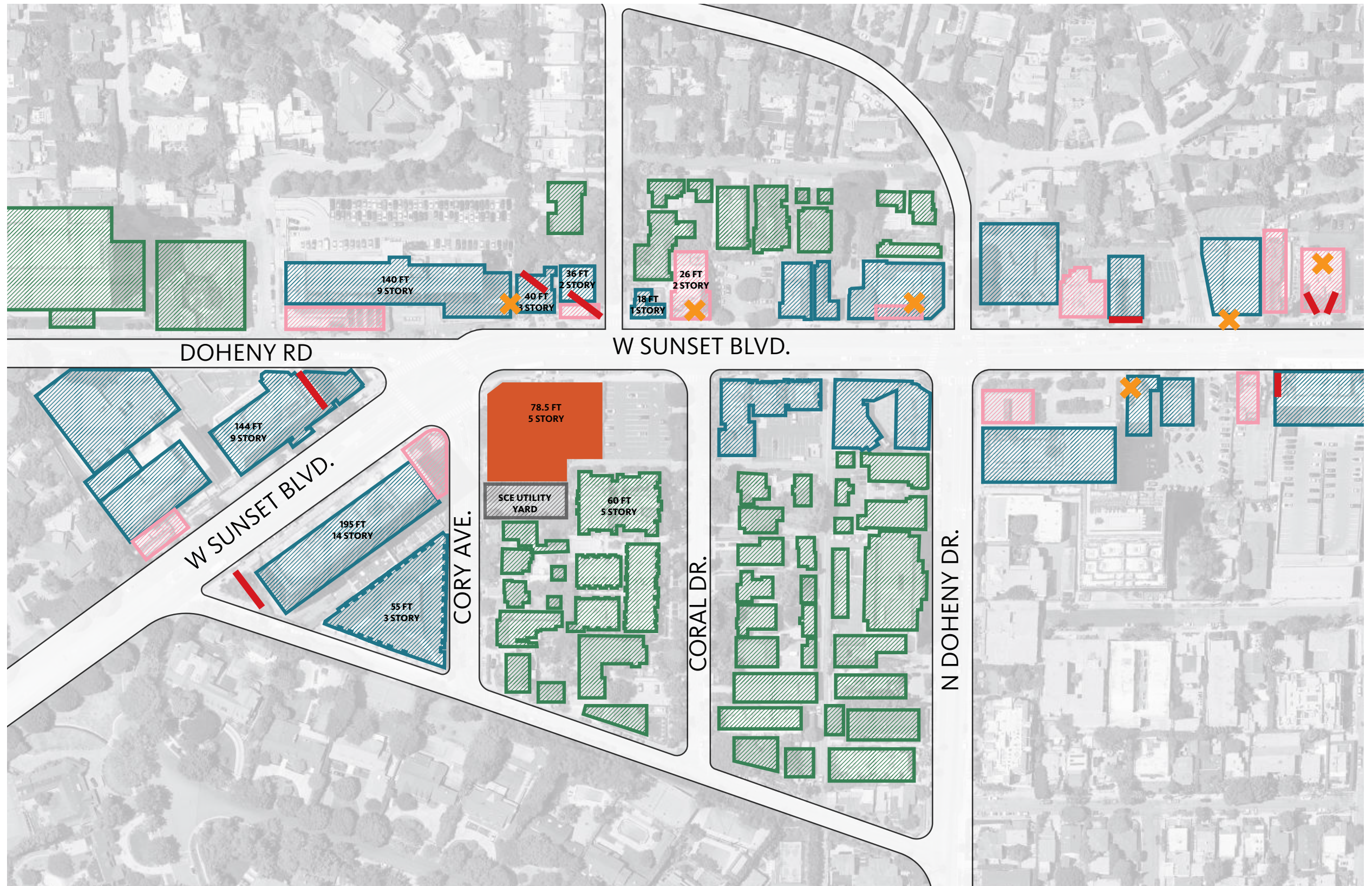
10. PAINTED STEEL PLATE GUARDRAILS



11. GREEN ROOF



SUNSET BOULEVARD - DIGITAL SIGNAGE CONTEXT MAP

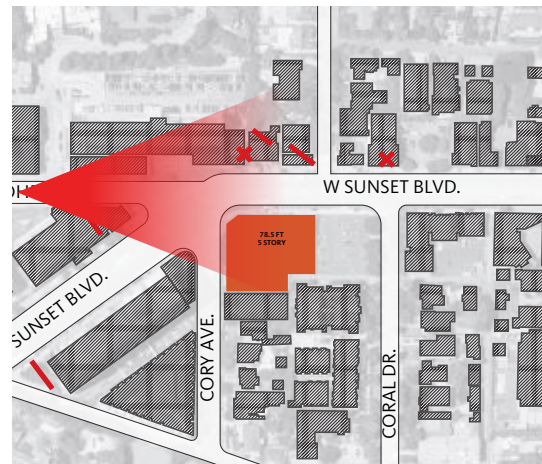
-  SITE
-  COMMERCIAL
-  RESTAURANT
-  RESIDENTIAL
-  DIGITAL ADVERTISING
-  STATIC ADVERTISING



SITE LINE STUDIES - DOHENY ROAD LOOKING EAST

VIEW FROM DOHENY ROAD LOOKING EAST

-  DIGITAL ADVERTISING
-  STATIC ADVERTISING

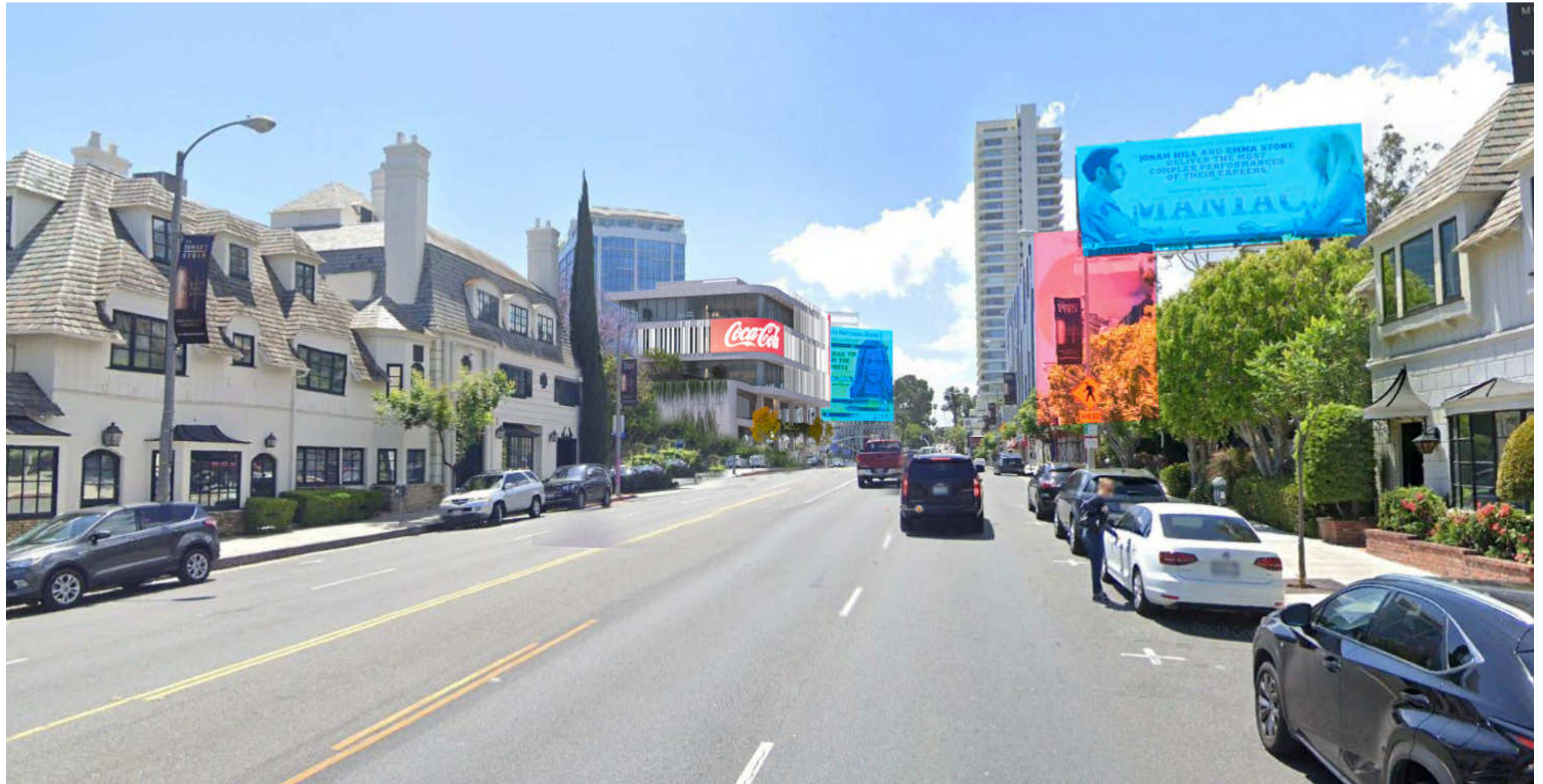


SITE LINE STUDIES - SUNSET BOULEVARD LOOKING WEST

VIEW FROM SUNSET BOULEVARD LOOKING WEST

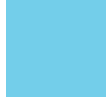

DIGITAL
ADVERTISING

STATIC
ADVERTISING



SITE LINE STUDIES - SUNSET BOULEVARD LOOKING NORTHEAST



VIEW FROM SUNSET BOULEVARD LOOKING NORTHEAST

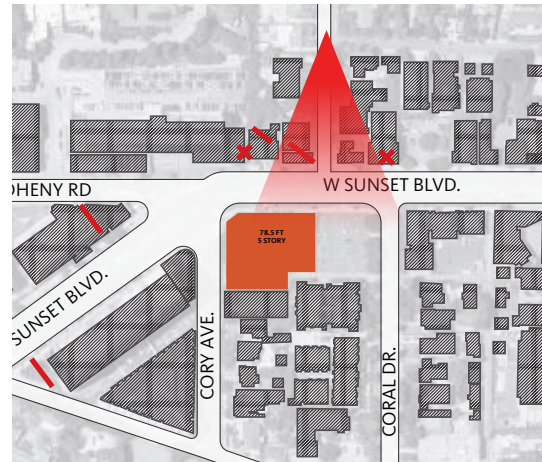
-  DIGITAL ADVERTISING
-  STATIC ADVERTISING



SITE LINE STUDIES - CORY AVENUE LOOKING SOUTH



VIEW FROM CORY AVENUE LOOKING SOUTH

-  DIGITAL ADVERTISING
-  STATIC ADVERTISING



SITE LINE STUDIES - CORY AVENUE LOOKING NORTH

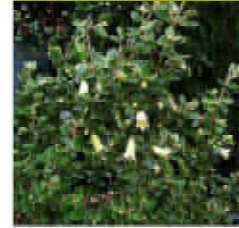
VIEW FROM CORY AVENUE LOOKING NORTH

-  DIGITAL ADVERTISING
-  STATIC ADVERTISING



LANDSCAPE PLAN - GROUND FLOOR

STREETSCAPE (RETAINING WALL)



Australian Fuchsia
Correa glabra "Coliban river"
Low water use
3'W x 4'H



White Australian Fuchsia
Correa 'Ivory Bells'
Low water use
4'W x 4'H



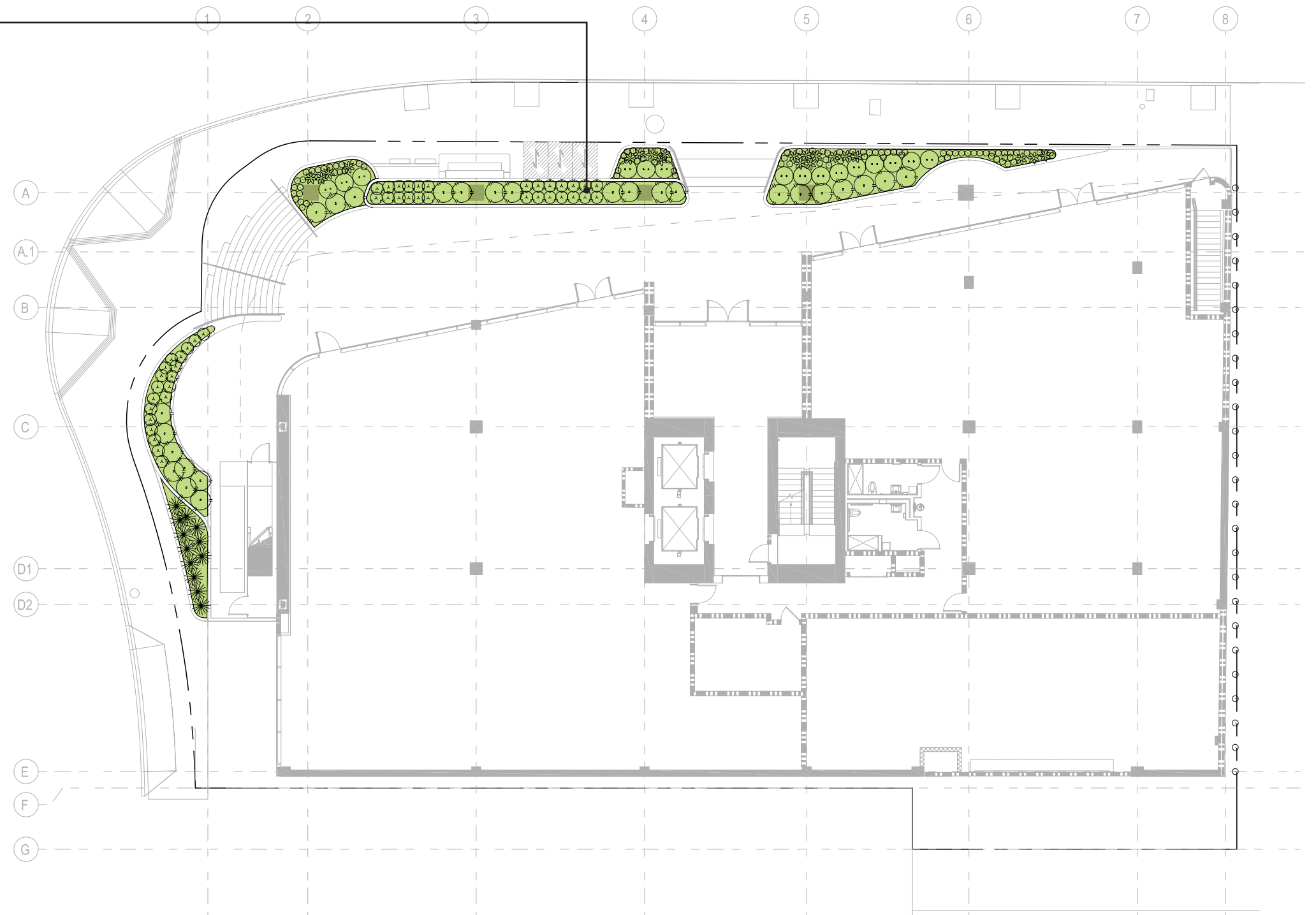
Low Horizon Westringia
Westringia fruticosa
'Low Horizon'
Low water use
2'W x 2'H



Mangave
X Mangave spp.
Low water use
2'W x 1'H

9176 Sunset takes a position that landscape is essential for properly situating a building in the urban fabric. Landscape is deployed on every face of the building with plant material selected to be appropriate to the climate of West Hollywood and the micro-climates specific to the building. Although the landscape is lush and green, the plant material consists of overwhelming drought-tolerant species.

At the ground level, tiered planters wrap the west and north property lines helping to soften the engagement with the pedestrian level. Wide openings in these planters at the northwest stair and the front entry welcome pedestrians to engage with the project along Sunset Boulevard.



SCALE: 1" = 20'-0"



LANDSCAPE PLAN - LEVEL 2

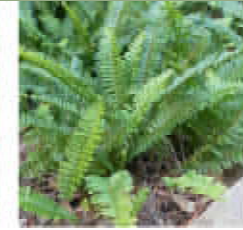
HANGING BASKETS



Snail Vine
Vigna caracalla
Medium water use
Vine



Lavender Lady Passion Vine
Passiflora 'Lavender Lady'
Medium water use
Vine

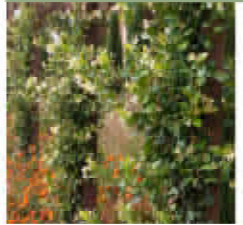


Sword Fern
Nephrolepis cordifolia
Medium water use
2'W x 2'H

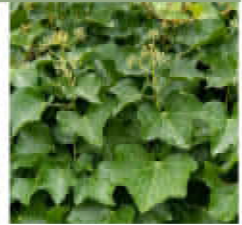


Xanadu Philodendron
Philodendron 'Xanadu'
Medium water use
5'W x 3'H

LINEAR HANGING PLANTERS

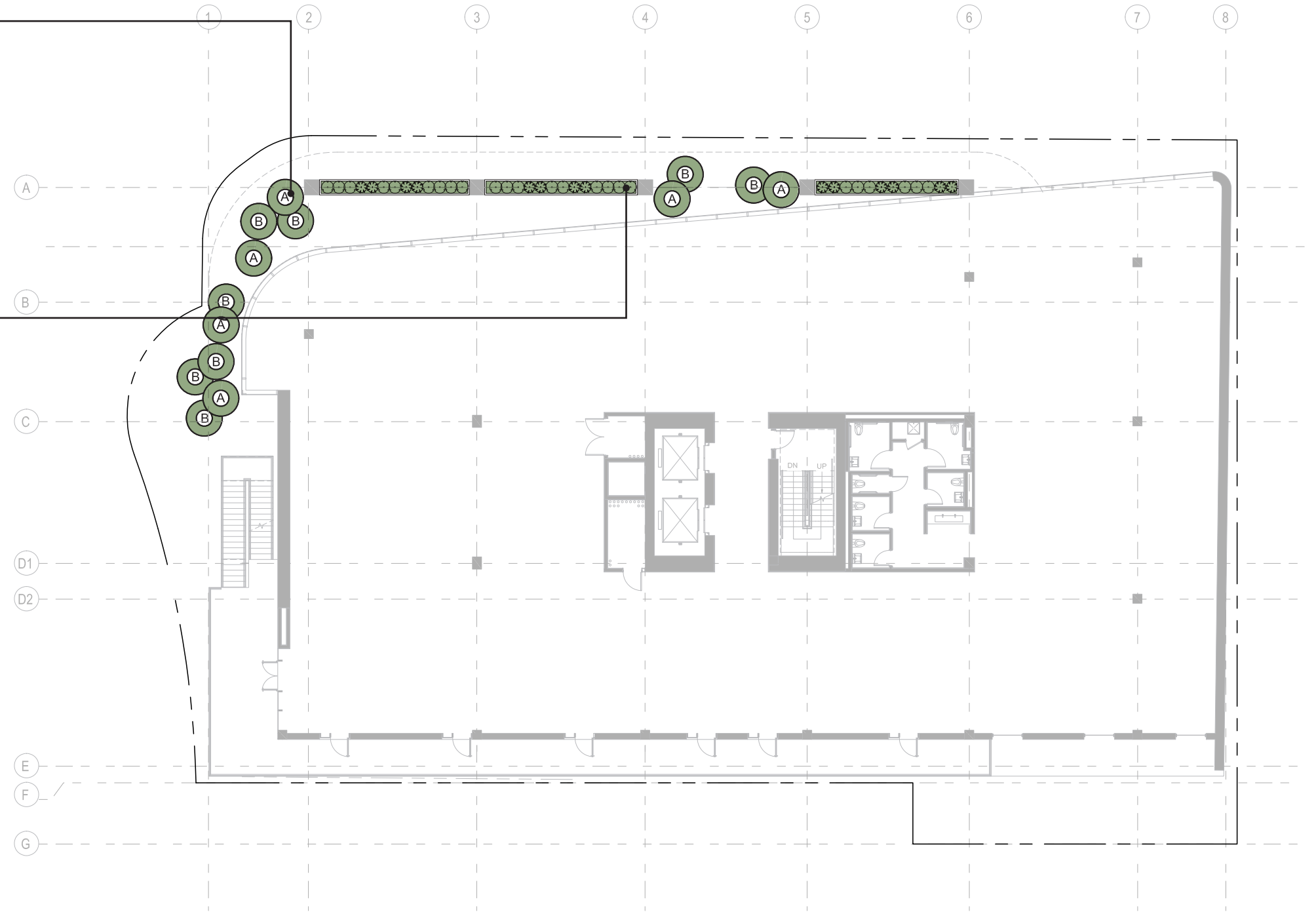


Star Jasmine
Trachelospermum jasminoides
Medium water use
Vine



English Ivy
Hedera helix
Low water use
Vine

At the second floor a constellation of hanging planters float above the dining terrace filling the volume of the double height space. When lit up at night, these floating planters will intrigue passing pedestrians along Sunset to engage with the architecture and public facing program of the ground level.



SCALE: 1" = 20'-0"



LANDSCAPE PLAN - LEVEL 3

GREEN ROOF



Spiral Aloe
Aloe polyphylla
Low water use
2'W x 1'H

Blue Chalksticks
Senecio serpens
Low water use
1'W x 2'H

Blue Fescue
Festuca glauca
Low water use
1'W x 1'H

Lavender Cotton
Santolina virens
Low water use
1'W x 1.5'H

EAST TERRACE



Brisbane Box
Tristania conferta
Medium water use
30'W x 15'H

Arbutus 'Marina'
Low water use
15'W x 20'H

Agave 'Blue Glow'
Agave 'Blue Glow'
Low water use
2'W x 2'H

Stone Aloe
Aloe petricola
Low water use
2'W x 2'H



Australian fuchsia
Correa glabra 'Coliban river'
Low water use
3'W x 4'H

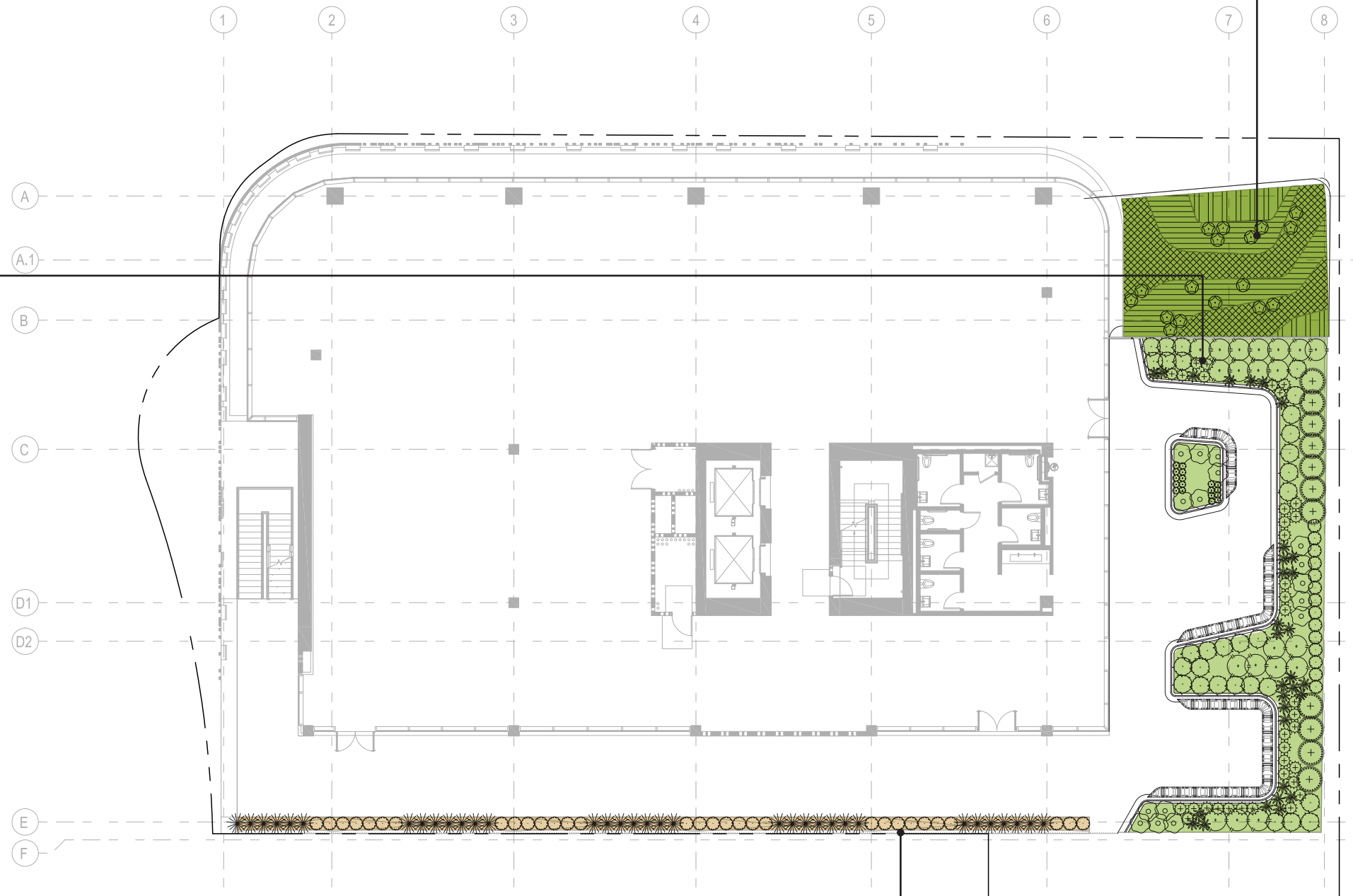
Coastal Gem Grevillea
Grevillea langiera 'Coastal Gem'
Low water use
3'W x 2'H

Trailing Rosemary
Rosmarinus Officinalis
'Huntington Carpet'
Low water use

Dwarf Olive
Olea europea 'Little Ollie'
Low water use
4'W x 4'H



True Myrtle
Myrtus communis
Low water use
8'W x 10'H



SOUTH TERRACE PLANTERS



Silver Falls Dichondra
Dichondra argentea 'Silver Falls'
Low water use
Prostrate

White Australian Fuchsia
Correa 'Ivory Bells'
Low water use
4'W x 4'H

Low Horizon Westringia
Westringia fruticosa
'Low Horizon'
Low water use
2'W x 2'H

Yellow Conebush
Laucaedendron x
'safari goldstrike'
Low water use
5'W x 5'H

Agave 'Blue Flame'
Agave 'Blue Flame'
Low water use
2'W x 3'H

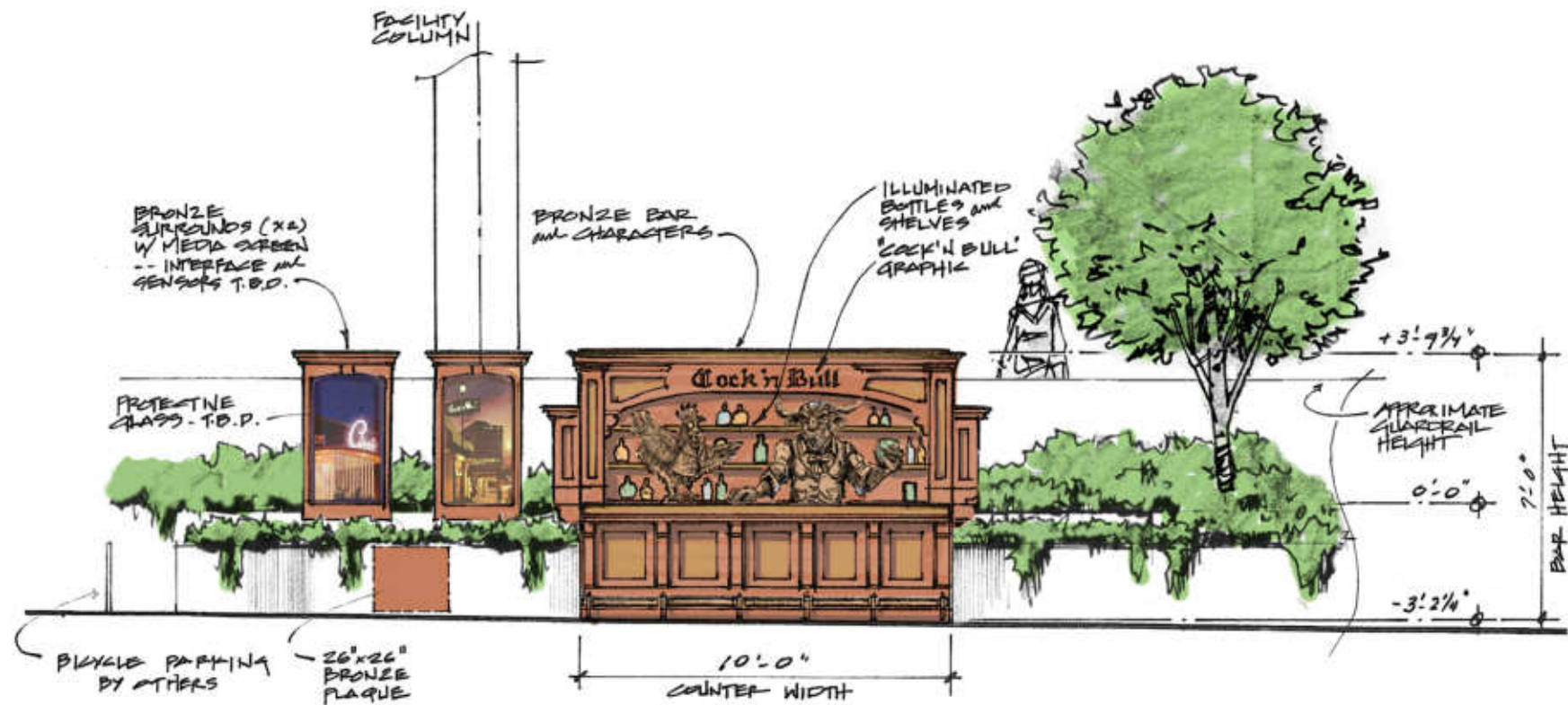
Trailing Rosemary
Rosmarinus Officinalis
'Huntington Carpet'
Low water use
4'W x 2'H

As one moves up the building they will see how landscape is used to reinforce views, provide comfort, and encourage outdoor gathering. This is most prominent on Level 3, where an Exterior Plaza uses raised planters to create a series of intimate spaces for large and small gatherings. Within these planters trees are situated to compliment the small and medium-scale seating areas.

SCALE: 1" = 20'-0"



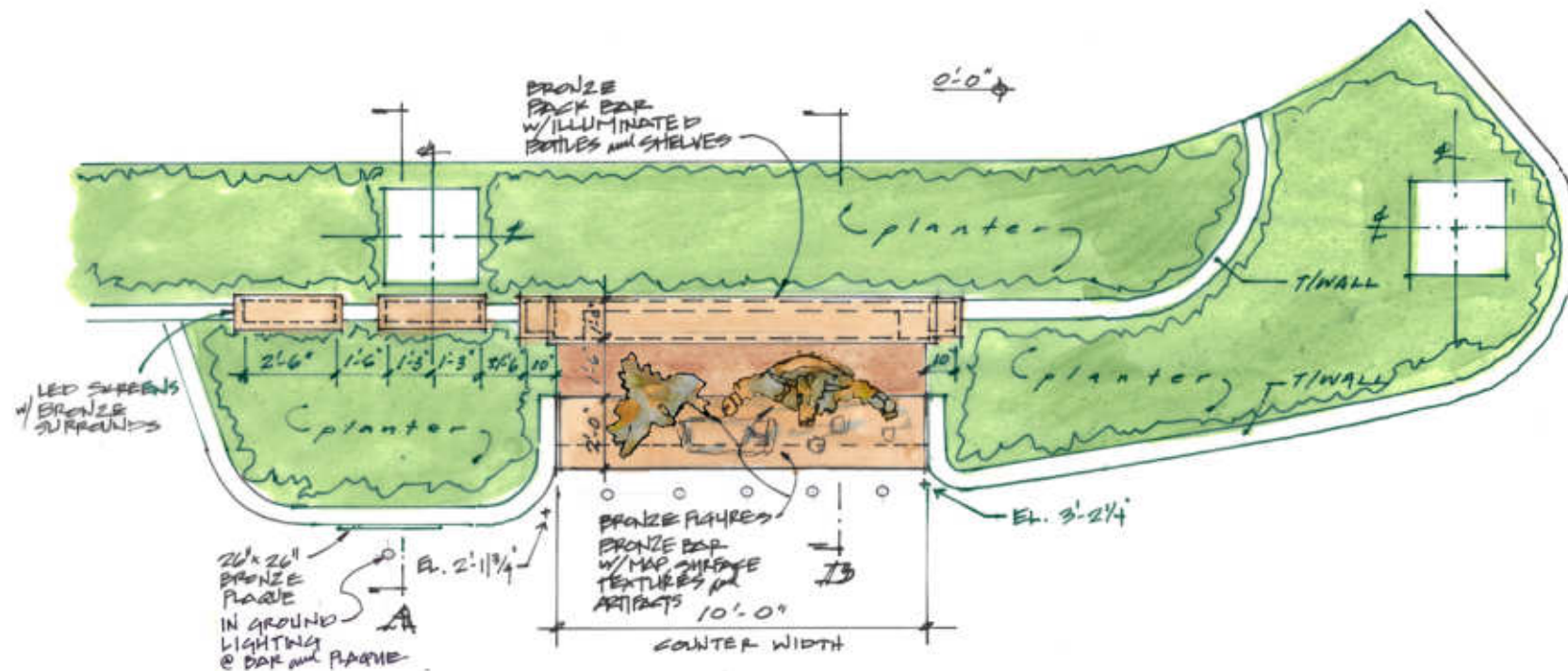
PUBLIC REALM ENHANCEMENT



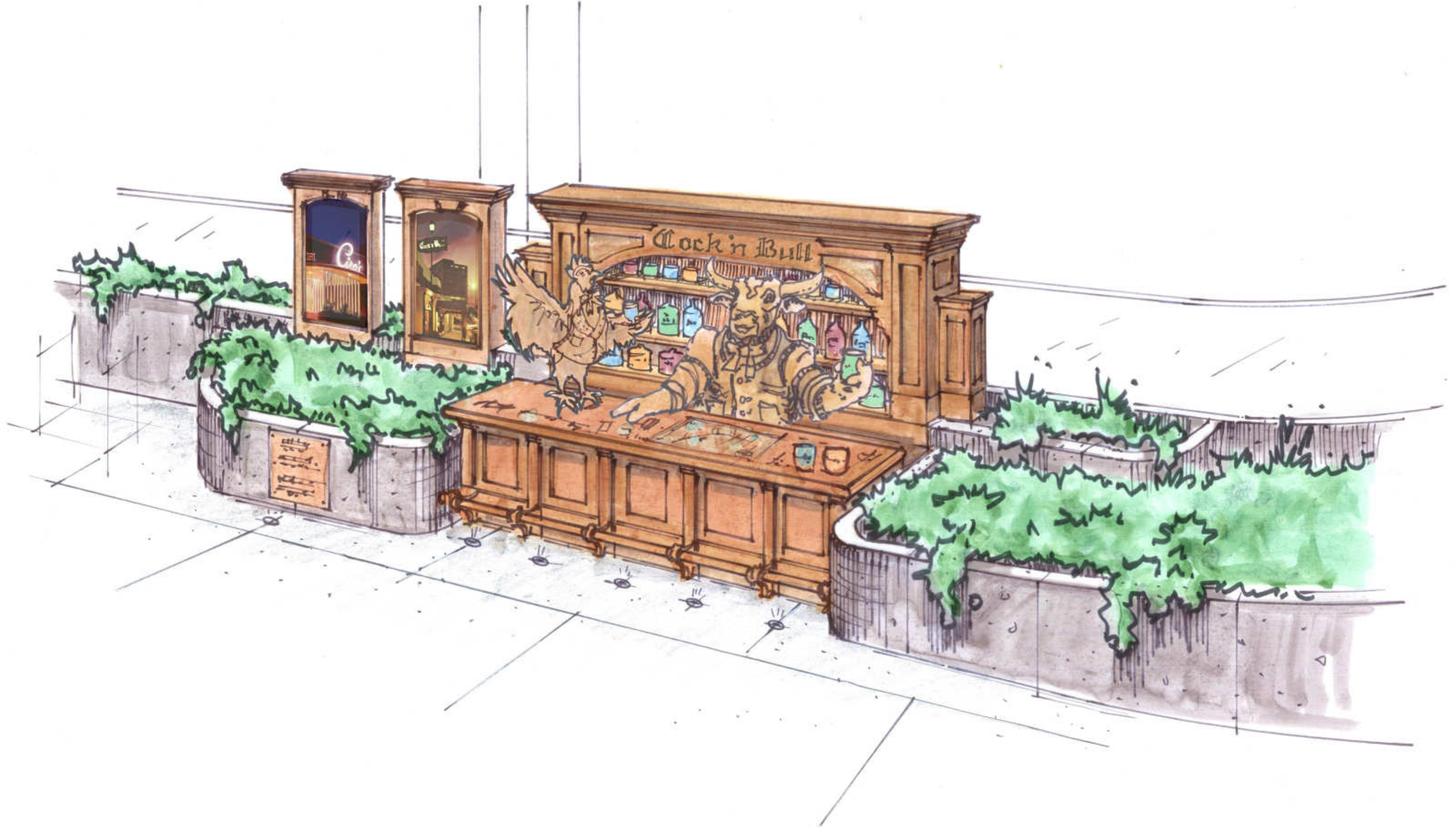
Commemorating the site of the former Cock 'n Bull Restaurant and Bar as well as many of the other clubs from the Vintage Hollywood Era, this public enhancement aims to physically and visually engage the public along Sunset Blvd to provide cultural information and educational moments that convey some of the history and spirit of the Club Life during this Classic Hollywood Era.

The enhancement creates a whimsical moment of celebration featuring a lively bull and rooster serving drinks like the famous Moscow Mule created at the Cock 'n Bull. The scene is set at a classic style bar with the characters in joyous harmony, a stein high in the air, toasting to the festivities

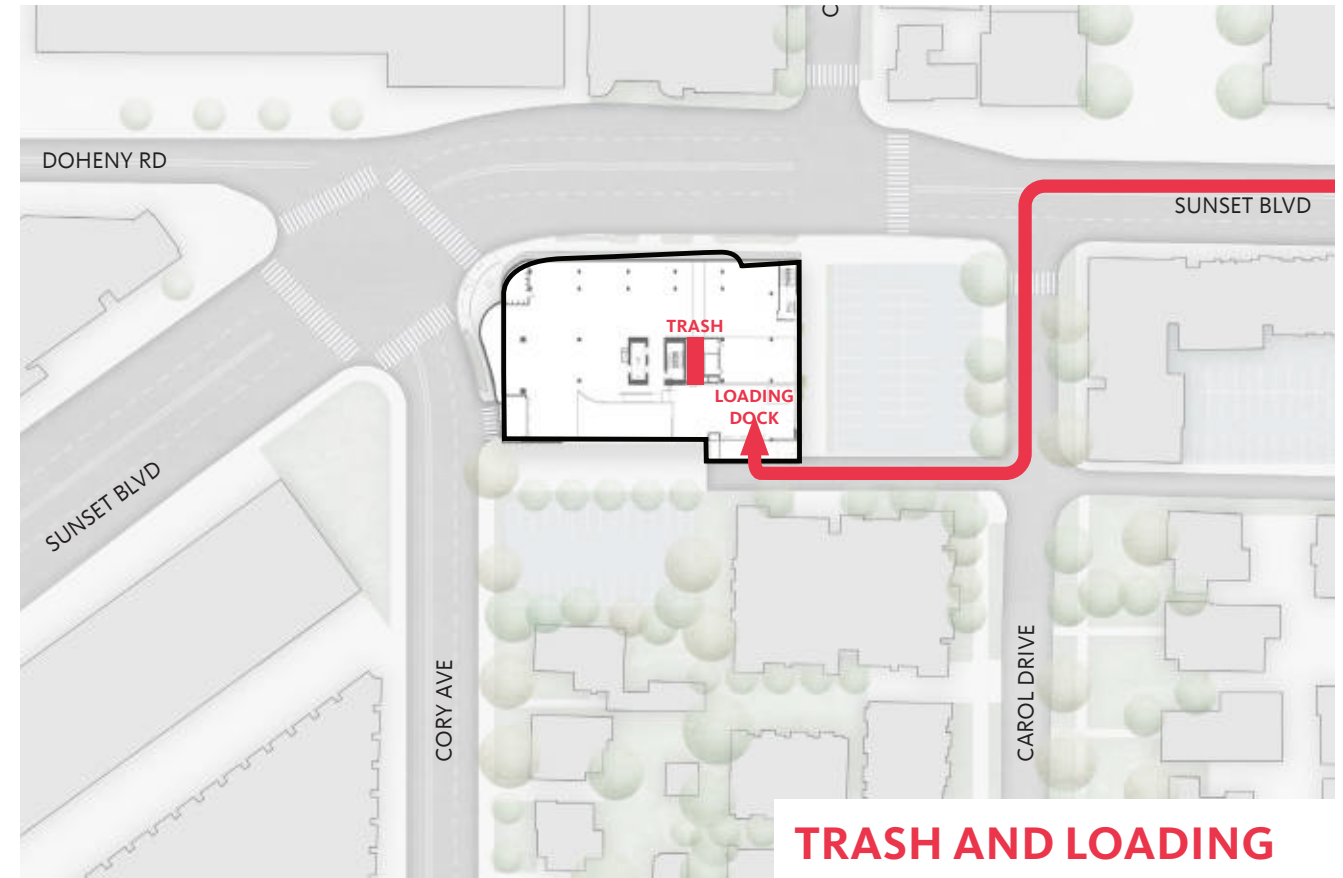
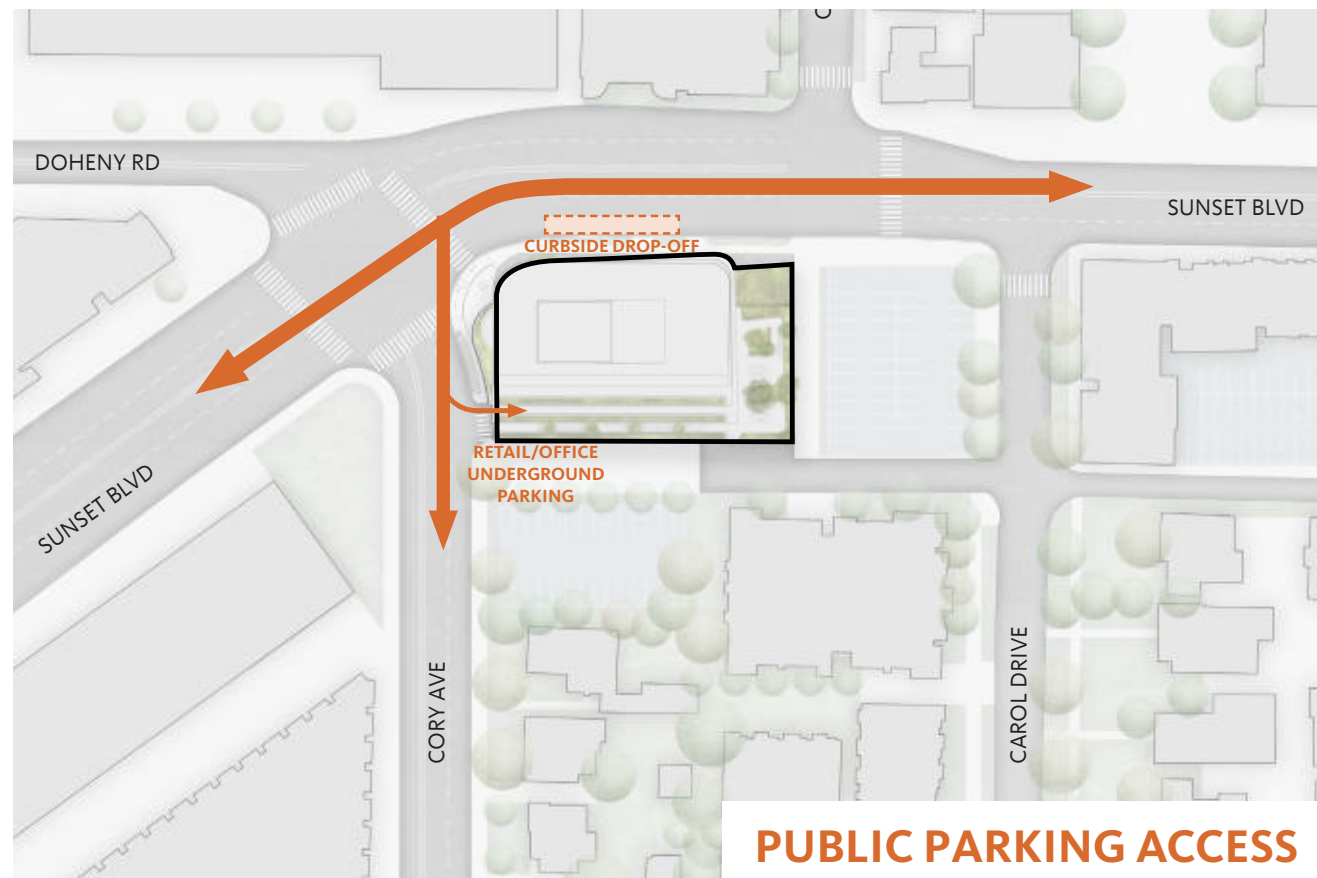
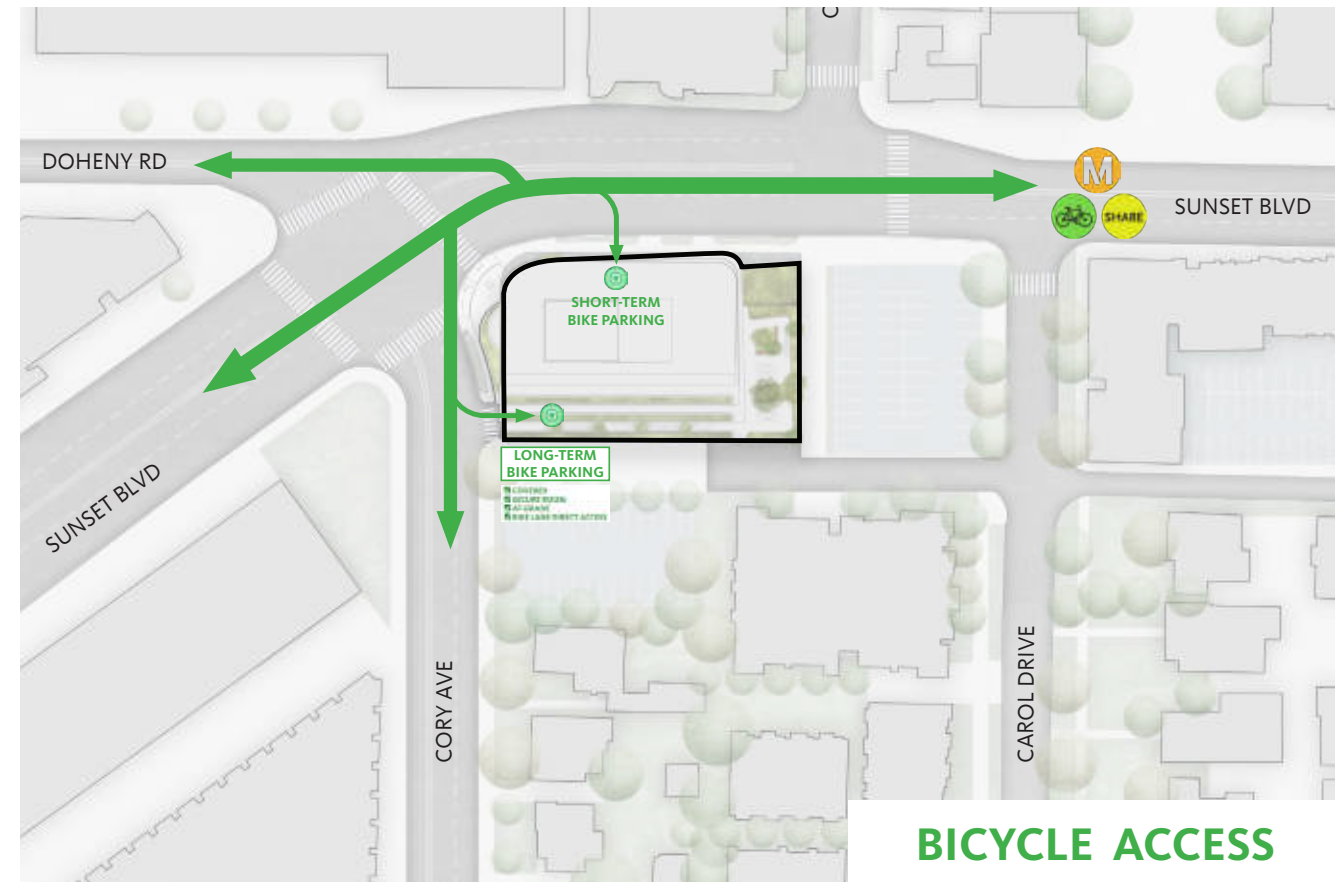
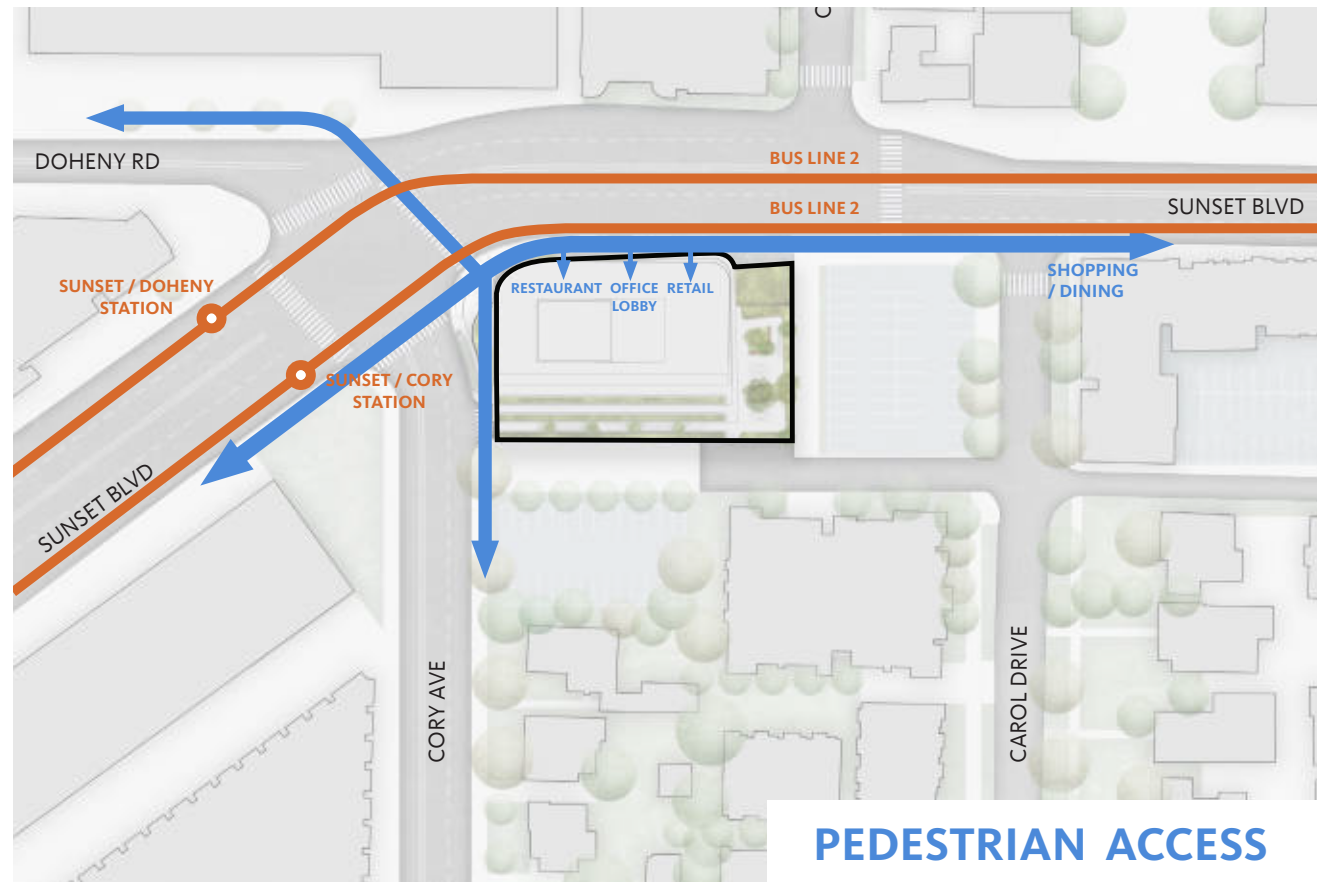
The basic bar is conceived as a durable structure to tolerate the public contact and weather. The design will connect the back bar with the Bull and front bar structure where the Cock will be standing. Internal lighting fixtures will illuminate the characters and the back bar as well as the front of the bar structure.



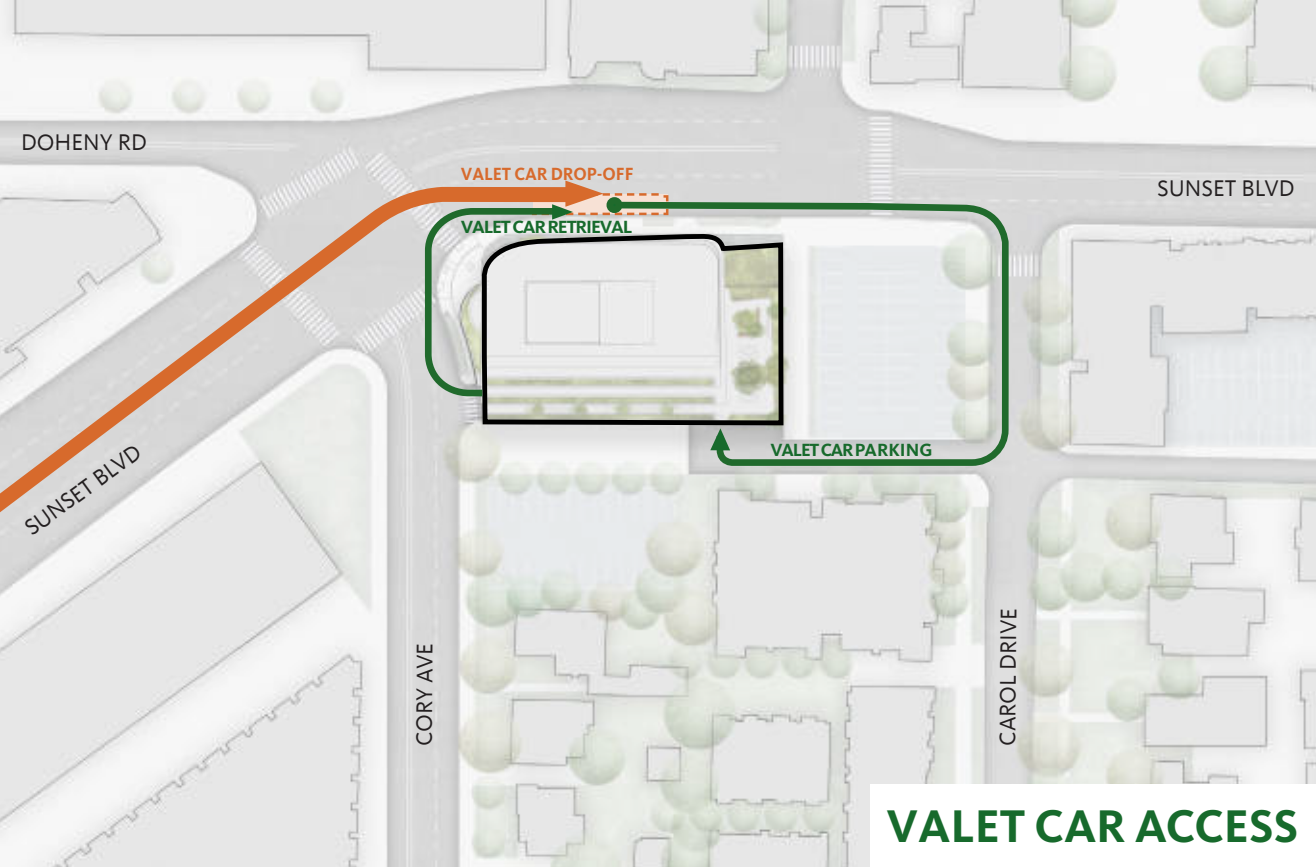
PUBLIC REALM ENHANCEMENT



SITE ACCESS MAP

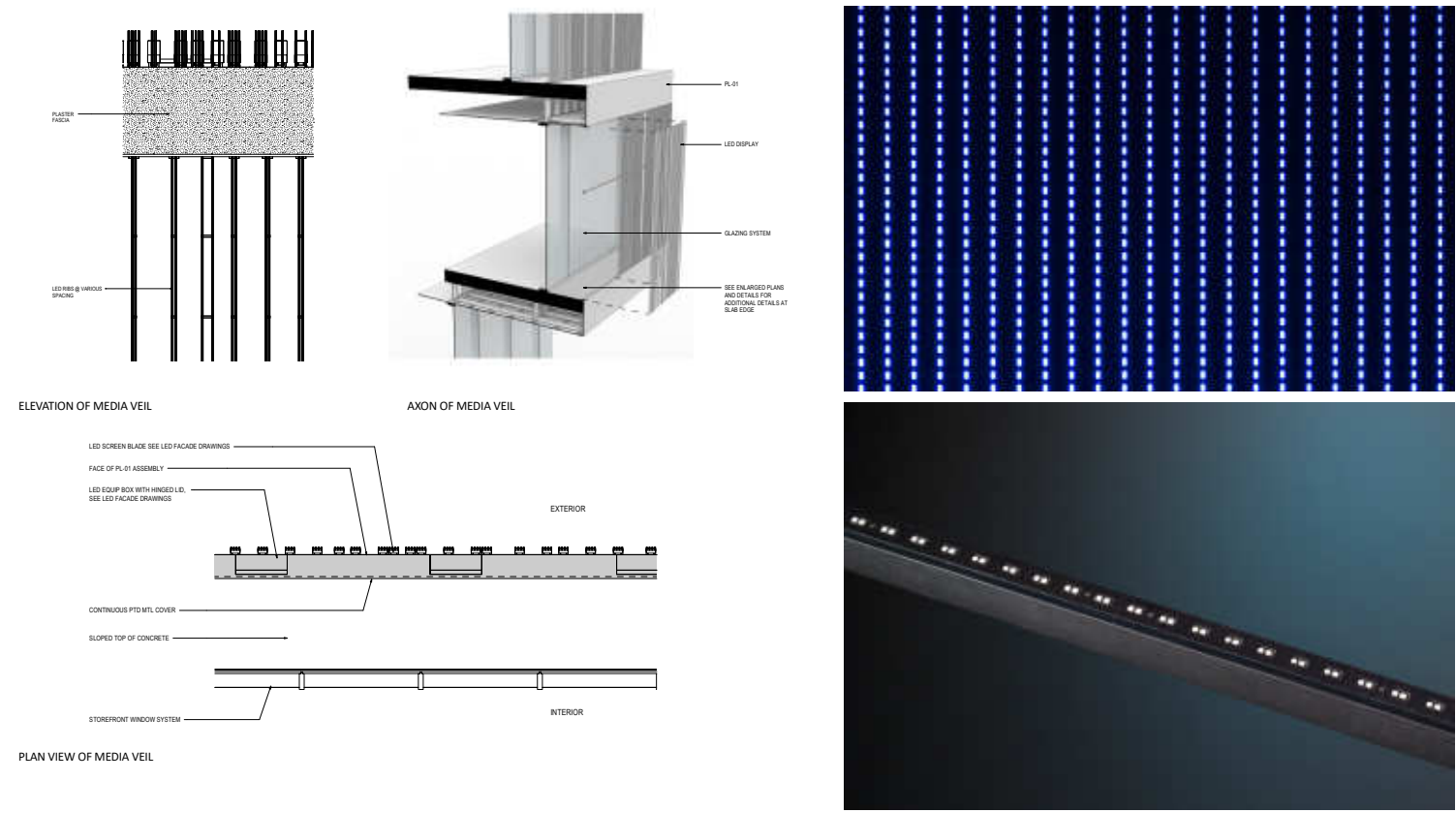


SITE ACCESS MAP

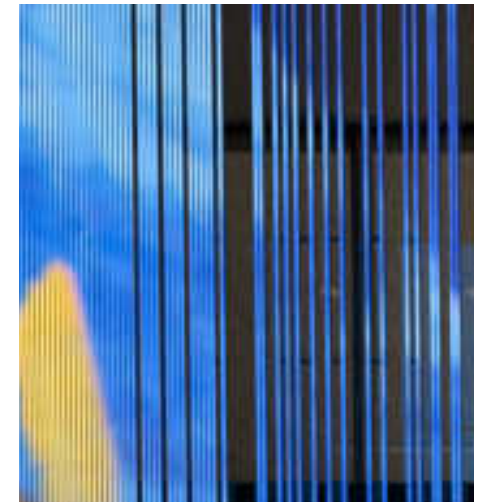
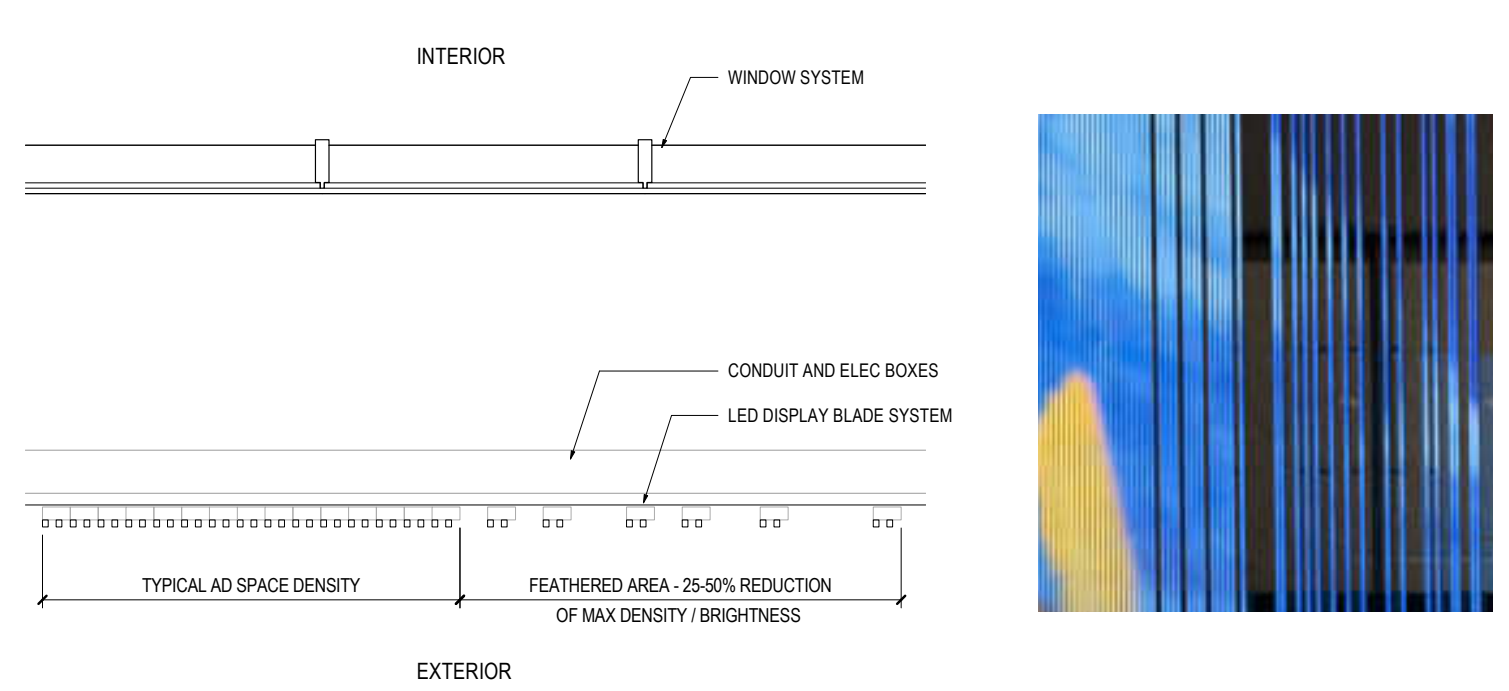


LED SIGNAGE - EQUIPMENT DETAILS

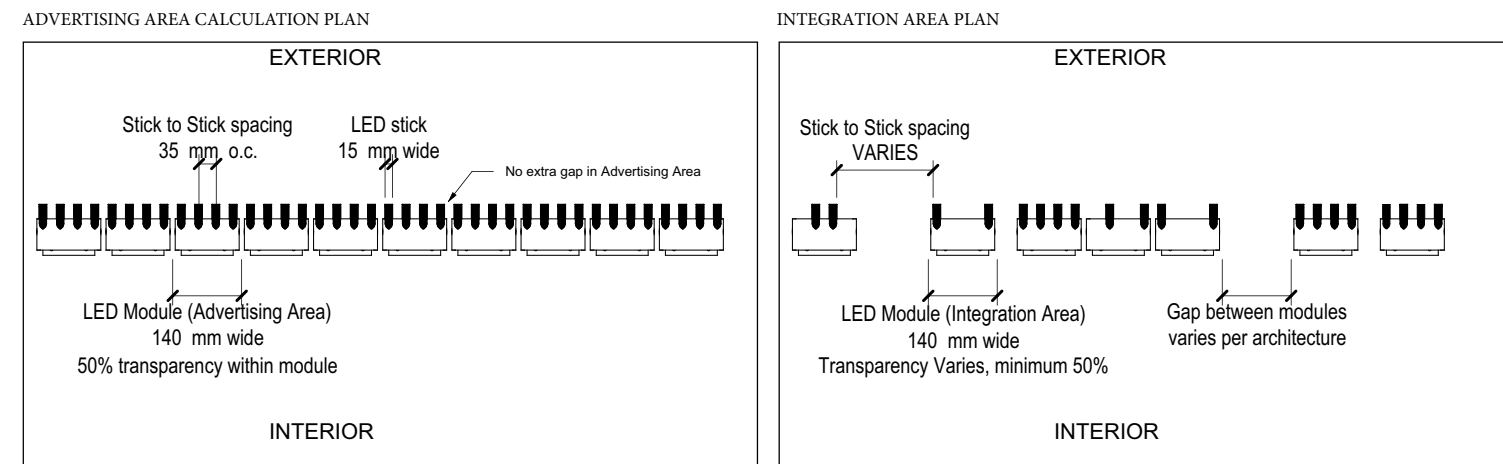
LED SIGNAGE: TECHNOLOGY SCHEMATICS



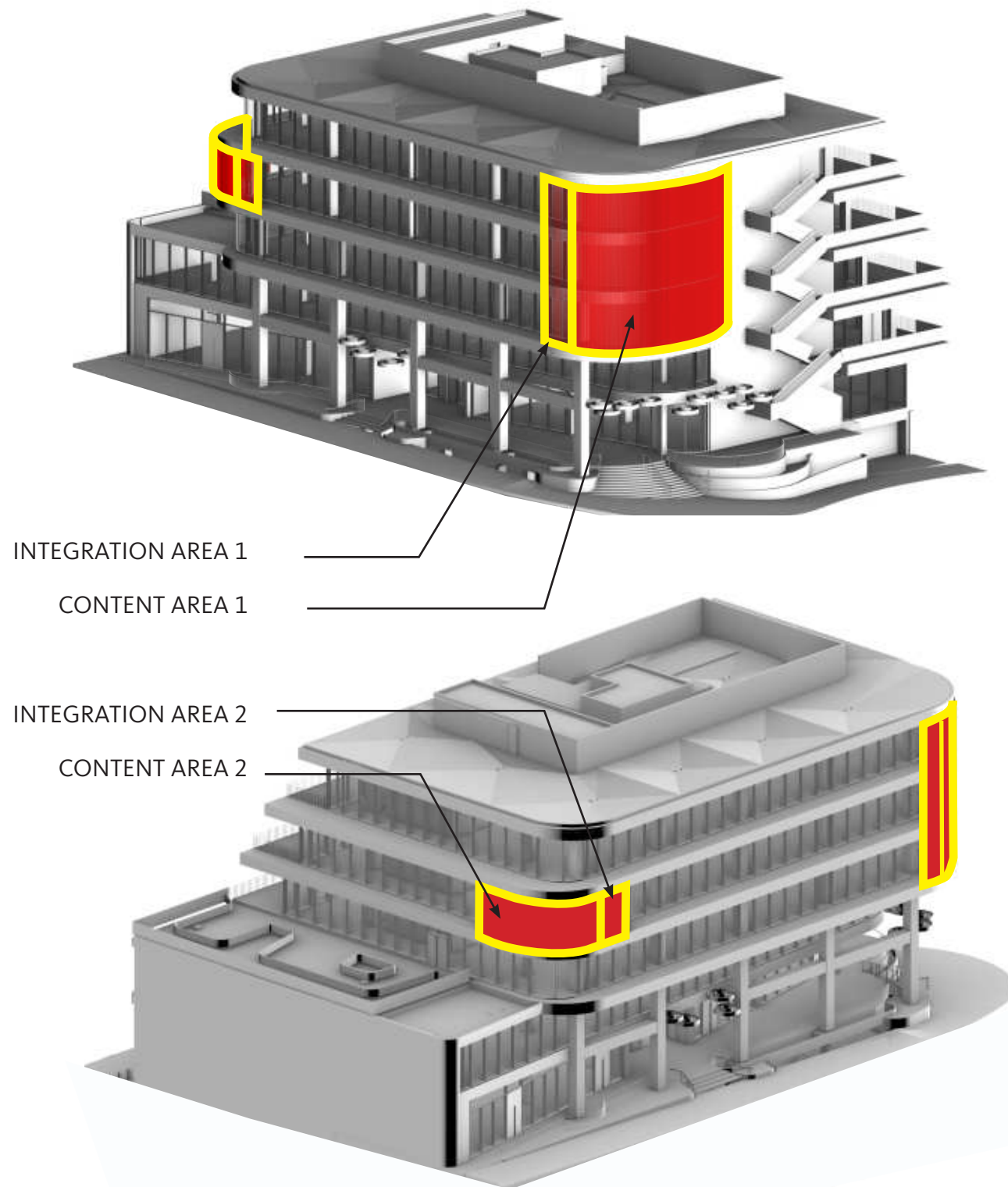
LED SIGNAGE: INTEGRATION AREA 'FEATHERING' DETAIL



LED SIGNAGE AREA VS INTEGRATION AREA: DENSITY COMPARISON



DIGITAL SIGN AREA DIAGRAM



Content Area 1	1803
Content Area 2	371
Total Content Area	2174 SF

Integration Area 1	504
Integration Area 2	129
Total Integration Area	633 SF



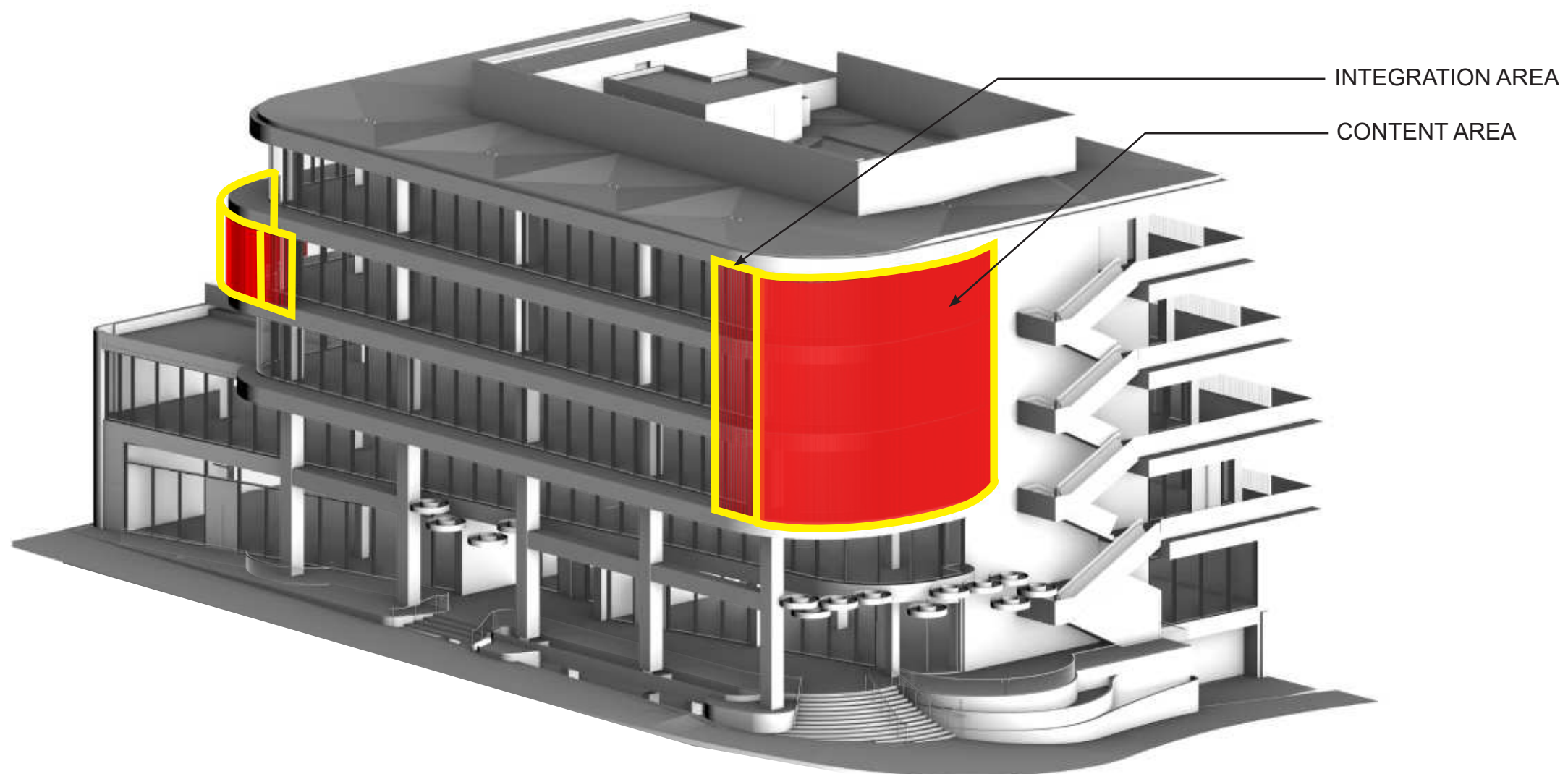
DIGITAL SIGN AREA DIAGRAM - ADVERTISING AREA



DIGITAL SIGN AREA DIAGRAM - NORTH WEST CORNER

DIMENSIONED SIGN AREA DIAGRAM - NORTH WEST CORNER

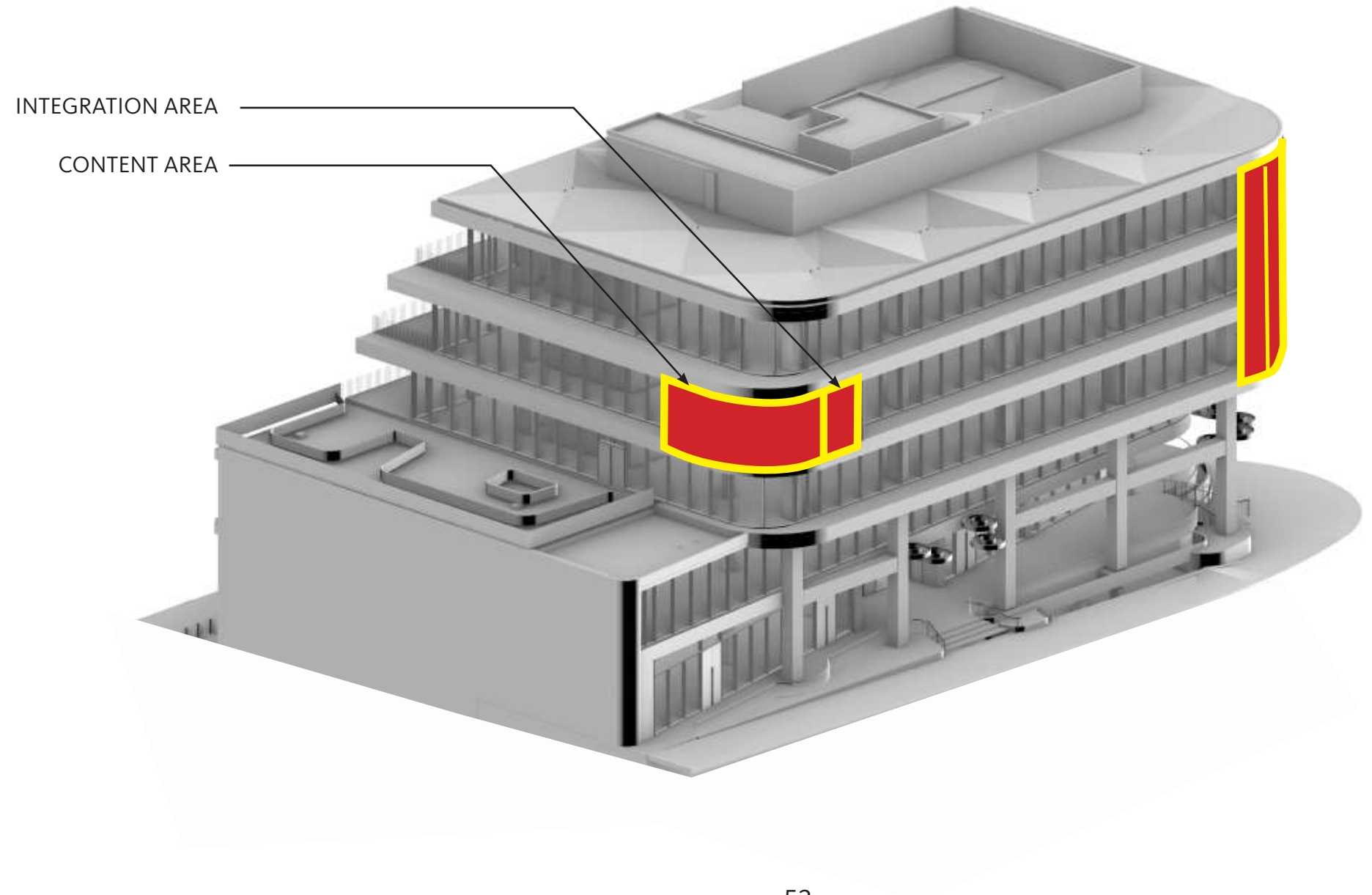
Level	Content Area	Integration Area	Total
Roof	0	0	0
5th Floor	515	144	659
4th Floor	644	180	824
3rd Floor	644	180	824
Total	1803 SF	504 SF	2307 SF



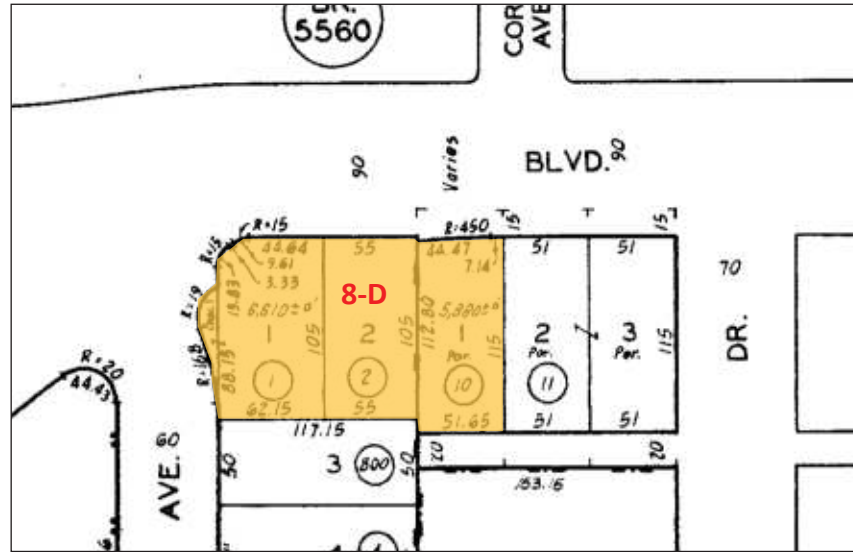
DIGITAL SIGN AREA DIAGRAM - NORTH EAST CORNER

DIMENSIONED SIGN AREA DIAGRAM - NORTH EAST CORNER

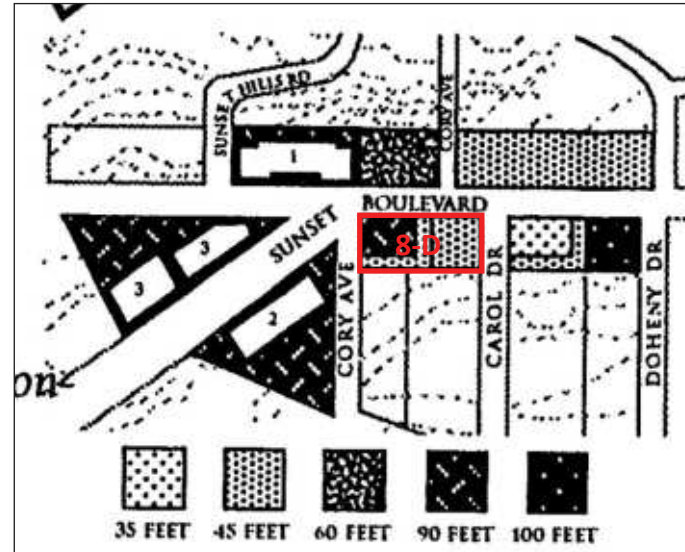
Level	Content Area	Integration Area	Total
Roof	0	0	0
5th Floor	0	0	0
4th Floor	371	129	500
3rd Floor	0	0	0
Total	371 SF	129 SF	500 SF



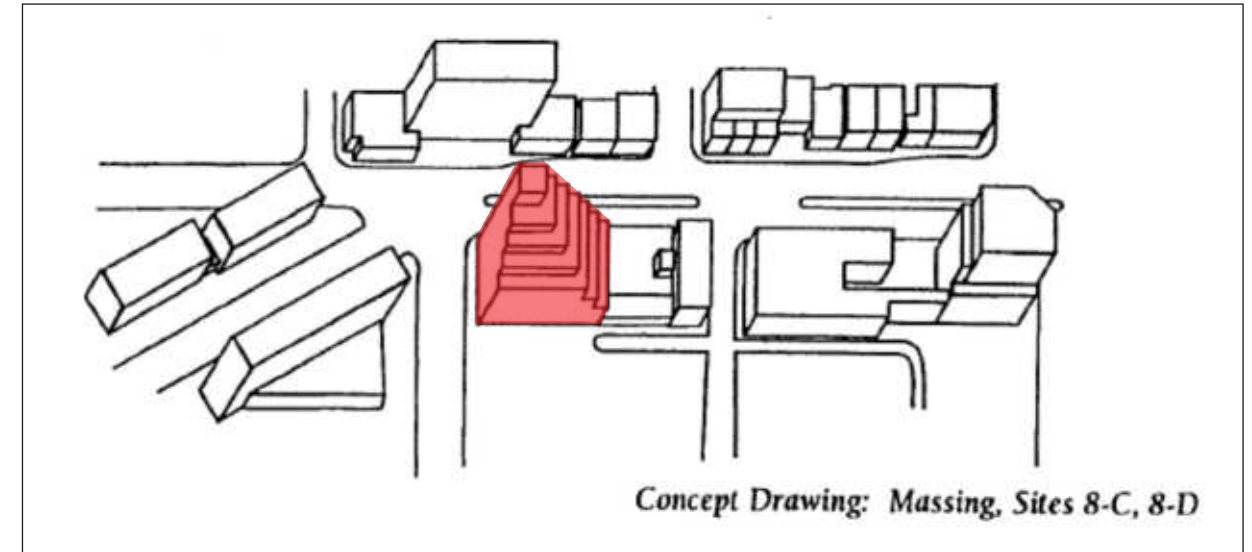
ZONING DETAILS- SUNSET SPECIFIC PLAN MINOR LANDMARK



Parcel Map



Maximum height and setback diagrams from the Sunset Boulevard Specific Plan



Concept Drawing: Massing, Sites 8-C, 8-D



Notes

1. Overall width established by Parcel Map above left. Note that the Parcel Map conforms with the site survey provided to our office by the owner.

2. As per the Sunset Blvd Specific Plan (SSP), we divided the length of 8D in half. This allows us to establish the extent of the 90'-0" height recommended in the SSP.

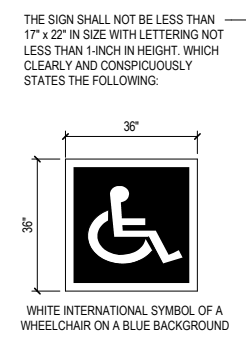
8-D 4. **Minor Landmark:** On the eastern half of 8-D, height up to 90 feet and 0.1 FAR of additional density for a total of 2.85 FAR is offered for purposes of developing a distinctive landmark pavilion, building entrance, monument, or similar streetscape at the eastern tip of the block. It should serve as a visual termination at the western end of Sunset Boulevard, and night lighting should dramatize the landmark design.

3. The remaining area within our property has a maximum height of 45'-0"

DRAWING APPENDIX

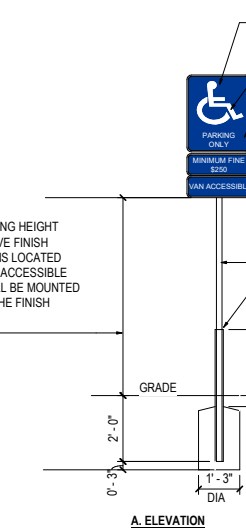
- FLOOR AND GROUND SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT.
- CARPET OR CARPET TILE SHALL BE SECURELY ATTACHED AND SHALL BEHAVE A FIRM CUSHION, PAD, OR BACKING OR NO CUSHION OR PAD. CARPET OR CARPET TILE SHALL HAVE A LEVEL LOOP, TEXTURED LOOP, LEVEL CUT PILE, LEVEL CUT/NOOUT PILE TEXTURE, PILE HEIGHT SHA BE 1/2 INCH MAXIMUM. EXPOSED EDGES OF CARPET SHALL BE FASTENED TO THE FLOOR SURFACES AND SHALL HAVE TRIM ON THE ENTIRE LENGTH OF THE EXPOSED EDGE.
- OPENINGS IN FLOOR OR GROUND SURFACES SHALL NOT ALLOW PASSAGE OF A SPHERE MORE THAN 1/4 INCH DIAMETER.
- CHANGES IN LEVEL OF 1/4 INCH HIGH MAXIMUM SHALL BE PERMITTED TO BE VERTICAL AND WITHOUT EDGE TREATMENT. CHANGES IN LEVEL BETWEEN 1/4 INCH HIGH MINIMUM AND 1/2 INCH HIGH MAXIMUM SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2.
- CHANGES IN LEVEL GREATER THAN 1/2 INCH HIGH SHALL BE RAMPED.
- ABRUPT CHANGES IN LEVEL EXCEEDING 4 INCHES IN A VERTICAL DIMENSION BETWEEN WALKS, SIDEWALKS OR OTHER PEDESTRIAN WAYS AND ADJACENT SURFACES OR FEATURES SHALL BE IDENTIFIED BY WARNING CURBS AT LEAST 6 INCHES IN HEIGHT ABOVE THE WALK OR SIDEWALK SURFACE. A WARNING CURB IS NOT REQUIRED BETWEEN A WALK OR SIDEWALK AND AN ADJACENT STREET OR DRIVEWAY. A WARNING CURB IS NOT REQUIRED WHEN A GUARD OR HANDRAIL IS PROVIDED WITH A GUIDE RAIL CENTERED 2 INCHES MINIMUM AND 4 INCHES MAXIMUM ABOVE THE SURFACE OF THE WALK OR SIDEWALK.
- FLOOR OR GROUND SURFACES OF A TURNING SPACE FOR WHEEL CHAIRS SHALL NOT HAVE CHANGES IN LEVEL. SLOPES NOT STEEPER THAN 1:48 SHALL BE PERMITTED. THE TURNING SPACE SHALL BE 60 INCHES IN DIAMETER MINIMUM. THE SPACE SHALL BE PERMITTED TO INCLUDE KNEE AND TOE CLEARANCES. DOORS SHALL BE PERMITTED TO SWING INTO TURNING SPACES.
- CLEAR WHEEL CHAIR FLOOR OR GROUND SPACE SHALL BE 30 INCHES MINIMUM BY 48 INCHES MINIMUM. CHANGES IN LEVEL ARE NOT PERMITTED IN THIS SPACE. SLOPES NOT STEEPER THAN 1:48 SHALL BE PERMITTED. SPACE CAN BE POSITIONED IN A FORWARD OR PARALLEL APPROACH. WHERE SPACE BENEATH AN ELEMENT IS INCLUDED AS PART OF CLEAR FLOOR OR GROUND SPACE OR TURNING SPACE, THE SPACE SHALL COMPLY WITH CBC 11B-306.
- PROTRUDING OBJECTS: OBJECTS WITH LEADING EDGES MORE THAN 27 INCHES AND NOT MORE THAN 80 INCHES ABOVE THE FINISH FLOOR OR GROUND SHALL PROTRUDE 4 INCHES MAXIMUM HORIZONTALLY INTO THE CIRCULATION PATH. HANDRAILS SHALL BE PERMITTED TO PROTRUDE 4 1/4 INCHES MAX.
- POST MOUNTED OBJECTS: FREE-STANDING OBJECTS MOUNTED ON POLES OR PYLONS SHALL OVERHANG CIRCULATION PATHS 12 INCHES MAXIMUM WHEN LOCATED 27 INCHES MINIMUM AND 80 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND. WHERE A SIGN OR OTHER OBSTRUCTION IS MOUNTED BETWEEN POSTS OR PYLONS AND THE CLEAR DISTANCE BETWEEN THE POSTS OR PYLONS IS GREATER THAN 12 INCHES, THE LOWEST EDGE OF SUCH SIGN OR OBSTRUCTION SHALL BE 27 INCHES MAXIMUM OR 80 INCHES MINIMUM ABOVE THE FINISH FLOOR OR GROUND. THE SLOPING PORTIONS OF HANDRAILS SERVING STAIRS AND RAMPS SHALL NOT BE REQUIRED TO COMPLY. EDGES ON OBJECTS MOUNTED LESS THAN 80 INCHES ABOVE THE FLOOR OR GROUND SURFACE, SHALL HAVE ROUNDED OR EASED EDGES AND THE CORNERS SHALL HAVE A MINIMUM RADIUS OF 1/8 INCH.
- VERTICAL CLEARANCE: VERTICAL CLEARANCE SHALL BE 80 INCHES HIGH MINIMUM. GUARDRAILS OR OTHER BARRIERS SHALL BE PROVIDED WHERE THE VERTICAL CLEARANCE IS LESS THAN 80 INCHES HIGH. THE LEADING EDGE OF SUCH GUARDRAIL OR BARRIER SHALL BE LOCATED 27 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND. DOOR CLOSERS AND DOOR STOPS SHALL BE PERMITTED TO BE 78 INCHES MINIMUM ABOVE THE FINISH FLOOR OR GROUND.
- PROTRUDING OBJECTS SHALL NOT REDUCE THE CLEAR WIDTH REQUIRED FOR ACCESSIBLE ROUTES.
- REACH RANGES FOR OCCUPANTS IN WHEEL CHAIRS SHALL COMPLY WITH CBC 11B-308.
- OPERABLE PARTS: OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 POUNDS MAXIMUM.
- THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20. THE CROSS SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:48.
- CLEAR WIDTH REQUIREMENTS FOR WALKING SURFACES SHALL COMPLY WITH CBC 11B-403.5.
- ALL WALKS WITH CONTINUOUS GRADIENTS SHALL HAVE A RESTING AREA, 60 INCHES IN LENGTH, AT INTERVALS OF 400 FEET MAXIMUM. THE RESTING AREA SHALL BE AT LEAST AS WIDE AS THE WALK. THE SLOPE OF THE RESTING AREA IN ALL DIRECTIONS SHALL BE 1:48.
- DOOR OPENINGS SHALL PROVIDE A CLEAR WIDTH OF 32 INCHES MINIMUM. CLEAR OPENINGS FOR DOORWAYS WITH SWINGING DOORS SHALL BE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP. WITH THE DOOR OPEN 90 DEGREES. OPENINGS MORE THAN 24 INCHES DEEP SHALL PROVIDE A CLEAR OPENING OF 36 INCHES MINIMUM. THERE SHALL BE NO PROJECTIONS INTO THE REQUIRED CLEAR OPENING WIDTH LOWER THAN 34 INCHES ABOVE THE FINISH FLOOR OR GROUND. PROJECTIONS INTO THE CLEAR OPENING WITH BETWEEN 34 INCHES AND 80 INCHES ABOVE THE FINISH FLOOR OR GROUND SHALL NOT EXCEED 4 INCHES.
- MANUEVERING CLEARANCES AT DOORS SHALL COMPLY WITH CBC TABLE 11B-404.2.4.1. CHANGES IN LEVEL ARE NOT PERMITTED WITHIN THESE CLEARANCES. SLOPES NOT STEEPER THAN 1:48 SHALL BE PERMITTED. THRESHOLDS ARE PERMITTED THAT COMPLY WITH CBC 11B-404.2.5.
- THRESHOLDS, IF PROVIDED AT DOORWAYS, SHALL BE 1/4 INCH HIGH MAXIMUM. CHANGES IN LEVELS AT DOORWAYS SHALL COMPLY WITH CBC SECTIONS 11B-302 AND 11B-303.
- DOOR AND GATE HARDWARE: HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON DOORS AND GATES SHALL COMPLY WITH CBC SECTION 11B-309.4. OPERABLE PARTS OF SUCH HARDWARE SHALL BE 34 INCHES MINIMUM AND 44 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND.
- DOOR AND GATE CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION 0 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES FROM THE LATCH IN 5 SECONDS MINIMUM. DOOR AND GATE SPRING HINGES SHALL BE ADJUSTED SO THAT FROM THE OPEN POSITION OF 70 DEGREES, THE DOOR OR GATE SHALL MOVE TO THE CLOSED POSITION IN 1.5 SECONDS MINIMUM.
- THE FORCE FOR PUSHING OR PULLING OPEN A DOOR OR GATE OTHER THAN FIRE DOORS SHALL BE 5 POUNDS MAXIMUM FOR INTERIOR HINGED DOORS AND GATES, 5 POUNDS MAXIMUM FOR SLIDING OR FOLDING DOORS, AND 5 POUNDS MAXIMUM FOR EXTERIOR HINGED DOORS. FOR REFORMED FIRE DOORS, THE MINIMUM OPENING FORCE ALLOWABLE THE APPROPRIATE ADMINISTRATIVE AUTHORITY, SHALL NOT EXCEED 15 POUNDS.
- SWINGING DOOR AND GATE SURFACES WITHIN 10 INCHES OF THE FINISH FLOOR OR GROUND MEASURED VERTICALLY SHALL HAVE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE DOOR OR GATE. PARTS CREATING HORIZONTAL OR VERTICAL JOINTS IN THE SURFACES SHALL BE WITHIN 1/16 INCH OF THE SAME PLANE AS THE OTHER AND BE FREE OF SHARP OR ABRASIVE EDGES.
- TEMPERED GLASS DOORS WITHOUT STILES AND HAVING A BOTTOM RAIL OR SHOE WITH THE TOP LEADING EDGE TAPERED AT 60 DEGREES MINIMUM FROM THE HORIZONTAL SHALL NOT BE REQUIRED TO MEET THE 10 INCH BOTTOM SMOOTH SURFACE REQUIREMENT.
- VISION LIGHTS IN DOORS, GATES, AND SIDE LIGHTS ADJACENT TO DOORS OR GATES, CONTAINING ONE OR MORE GLAZING PANELS THAT PERMIT VIEWING THROUGH THE PANELS SHALL HAVE THE BOTTOM OF AT LEAST ONE GLAZED PANEL LOCATED 43 INCHES MAXIMUM ABOVE THE FINISH FLOOR. GLAZING PANELS WITH THE LOWEST PART MORE THAN 66 INCHES FROM THE FINISH FLOOR OR GROUND SHALL NOT BE REQUIRED TO COMPLY WITH THIS REQUIREMENT.
- RAMPS RUNS SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN 1:12. CROSS SLOPE ON RAMP RUNS SHALL NOT BE STEEPER THAN 1:48. THE CLEAR WIDTH OF A RAMP RUN SHALL BE 48" MINIMUM. HANDRAILS MAY PROJECT INTO THE REQUIRED WIDTH OF THE RAMP AT EACH SIDE 3 1/2 INCHES MAXIMUM AT THE HANDRAIL HEIGHT. THE RISE FOR ANY RAMP RUN SHALL BE 30 INCHES MAXIMUM. RAMPS SHALL HAVE HANDRAILS COMPLYING WITH CBC SECTION 11B-505. EDGE PROTECTION COMPLYING WITH CBC SECTION 11B-405.9.2 SHALL BE PROVIDED ON EACH SIDE OF RAMP RUNS AND AT EACH SIDE OF RAMP LANDING.
- STAIRS: ALL STEPS ON A FLIGHT OF STAIRS SHALL HAVE UNIFORM RISER HEIGHTS AND UNIFORM TREAD DEPTHS. RISERS SHALL BE 4 INCHES HIGH MINIMUM AND 7 INCHES HIGH MAXIMUM. TREADS SHALL BE 11 INCHES DEEP MINIMUM. OPEN RISERS ARE NOT PERMITTED. TREADS SHALL BE PERMITTED TO HAVE A SLOPE NOT STEEPER THAN 1:48. INTERIOR STAIRS SHALL HAVE THE UPPER APPROACH AND LOWER TREAD MARKED BY A STRIPE PROVIDING CLEAR CONTRAST. THE STRIPE SHALL BE A MINIMUM OF 2 INCHES TO A MAXIMUM OF 4 INCHES WIDE PLACED PARALLEL TO, AND NOT MORE THAN 1 INCH FROM, THE NOSE OF THE STEP OR UPPER APPROACH. THE STRIPE SHALL EXTEND THE FULL WIDTH OF THE STEP OR UPPER APPROACH AND SHALL BE OF MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIR. A PAINTED STRIP SHALL BE ACCEPTABLE. GROOVES SHALL NOT BE USED TO SATISFY THIS REQUIREMENT.
- HANDRAILS SHALL COMPLY WITH CBC SECTION 11B-505. TOP OF GRIPPING SURFACES FOR HANDRAILS SHALL BE 34 INCHES MINIMUM AND 38 INCHES MAXIMUM VERTICALLY ABOVE WALKING SURFACES, STAIR NOSINGS, AND RAMP SURFACES. HANDRAILS SHALL BE AT A CONSISTENT HEIGHT ABOVE WALKING SURFACES, STAIR NOSINGS, AND RAMP SURFACES. THE CLEARANCE BETWEEN HANDRAIL GRIPPING SURFACES AND ADJACENT SURFACES SHALL BE 1 1/2" MINIMUM.
- FIRE ALARM SYSTEMS SHALL HAVE PERMANENTLY INSTALLED AUDIBLE AND VISIBLE ALARMS COMPLYING WITH NFPA 72 AND CBC CHAPTER 9, SECTIONS 907.5.2.1 AND 907.5.2.3.
- DETECTABLE WARNING SHALL COMPLY WITH CBC SECTION 11B-705.1.1 AND SHALL BE USED IN THE FOLLOWING LOCATIONS AS NOTED IN CBC SECTION 11B-705.1.2. PLATFORM EDGES, CURB RAMPS, ISLANDS OR CUT-THROUGH MEDIANS, BUS STOPS, HAZARDOUS VEHICULAR AREAS, REFLECTING POOLS, & TRACK CROSSINGS.
- THE HEIGHT OF DINING SURFACES AND WORK SURFACES SHALL BE 28 INCHES MINIMUM AND 34 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND.
- SALES AND SERVICE COUNTERS: FOR PARALLEL APPROACH, A PORTION OF THE COUNTER THAT IS 36 INCHES LONG MINIMUM AND 34 INCHES HIGH MAXIMUM ABOVE THE FINISH FLOOR SHALL BE PROVIDED. FOR FORWARD APPROACH, A PORTION OF THE COUNTER SURFACE THAT IS 36 INCHES LONG MINIMUM AND 34 INCHES HIGH MAXIMUM SHALL BE PROVIDED. KNEE AND TOE SPACE COMPLYING WITH CBC SECTION 11B-306 SHALL BE PROVIDED UNDER THE COUNTER. A CLEAR FLOOR OR GROUND SPACE COMPLYING WITH CBC SECTION 11B-305 SHALL BE POSITIONED FOR A FORWARD APPROACH.

- GENERAL.** SIGNS SHALL COMPLY WITH SECTION 11B-703. WHERE BOTH VISUAL AND TACTILE CHARACTERS ARE REQUIRED, EITHER ONE SIGN WITH BOTH VISUAL AND TACTILE CHARACTERS, OR TWO SEPARATE SIGNS, ONE WITH VISUAL, AND ONE WITH TACTILE CHARACTERS, SHALL BE PROVIDED.
- RAISED CHARACTERS.** RAISED CHARACTERS SHALL COMPLY WITH SECTION 11B-703.2 AND SHALL BE DUPLICATED IN BRAILLE COMPLYING WITH SECTION 11B-703.3. RAISED CHARACTERS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 11B-703.4. RAISED CHARACTERS SHALL BE 1/32 INCH (0.8 MM) MINIMUM ABOVE THEIR BACKGROUND. CHARACTERS SHALL BE UPPERCASE. CHARACTERS SHALL BE SANS SERIF. CHARACTERS SHALL NOT BE ITALIC, OBLIQUE, SCRIPT, HIGHLY DECORATIVE, OR OF OTHER UNUSUAL FORMS. CHARACTERS SHALL BE SELECTED FROM FONTS WHERE THE WIDTH OF THE UPPERCASE LETTER 'O' IS 60 PERCENT MINIMUM AND 110 PERCENT MAXIMUM OF THE HEIGHT OF THE UPPERCASE LETTER 'T'. CHARACTER HEIGHT MEASURED VERTICALLY FROM THE BASELINE OF THE CHARACTER SHALL BE 5/8 INCH (15.9 MM) MINIMUM AND 2 INCHES (51 MM) MAXIMUM BASED ON THE HEIGHT OF THE UPPERCASE LETTER 'T'. STROKE THICKNESS OF THE UPPERCASE LETTER 'T' SHALL BE 15 PERCENT MAXIMUM OF THE HEIGHT OF THE CHARACTER. CHARACTER SPACING SHALL BE MEASURED BETWEEN THE TWO CLOSEST POINTS OF ADJACENT RAISED CHARACTERS WITHIN A MESSAGE, EXCLUDING WORD SPACES. WHERE CHARACTERS HAVE RECTANGULAR CROSS SECTIONS, SPACING BETWEEN INDIVIDUAL RAISED CHARACTERS SHALL BE 1/8 INCH (3.2 MM) MINIMUM AND 4 TIMES THE RAISED CHARACTER STROKE WIDTH MAXIMUM. WHERE CHARACTERS HAVE OTHER CROSS SECTIONS, SPACING BETWEEN INDIVIDUAL RAISED CHARACTERS SHALL BE 1/16 INCH (1.6 MM) MINIMUM AND 4 TIMES THE RAISED CHARACTER STROKE WIDTH MAXIMUM AT THE BASE OF THE CROSS SECTIONS, AND 1/8 INCH (3.2 MM) MINIMUM AND 4 TIMES THE RAISED CHARACTER STROKE WIDTH MAXIMUM AT THE TOP OF THE CROSS SECTIONS. CHARACTERS SHALL BE SEPARATED FROM RAISED BORDERS AND DECORATIVE ELEMENTS 3/8 INCH (9.5 MM) MINIMUM. SPACING BETWEEN THE BASELINES OF SEPARATE LINES OF RAISED CHARACTERS WITHIN A MESSAGE SHALL BE 135 PERCENT MINIMUM AND 170 PERCENT MAXIMUM OF THE RAISED CHARACTER HEIGHT. TEXT SHALL BE IN A HORIZONTAL FORMAT.
- BRAILLE.** BRAILLE SHALL BE CONTRACTED (GRADE 2) AND SHALL COMPLY WITH SECTIONS 11B-703.3 AND 11B-703.4. BRAILLE DOTS SHALL HAVE A DOMED OR ROUNDED SHAPE AND SHALL COMPLY WITH TABLE 11B-703.3.1. THE INDICATION OF AN UPPERCASE LETTER OR LETTERS SHALL ONLY BE USED BEFORE THE FIRST WORD OF SENTENCES, PROPER NOUNS AND NAMES, INDIVIDUAL LETTERS OF THE ALPHABET, INITIALS, AND ACRONYMS. BRAILLE SHALL BE POSITIONED BELOW THE CORRESPONDING TEXT IN A HORIZONTAL FORMAT. FLUSH LEFT OR CENTERED. IF TEXT IS MULTILINE, BRAILLE SHALL BE PLACED BELOW THE ENTIRE TEXT. BRAILLE SHALL BE SEPARATED 3/8 INCH (9.5 MM) MINIMUM AND 1/2 INCH (12.7 MM) MAXIMUM FROM ANY OTHER TACTILE CHARACTERS AND 3/8 INCH (9.5 MM) MINIMUM FROM RAISED BORDERS AND DECORATIVE ELEMENTS. (EXCEPTION: BRAILLE PROVIDED ON ELEVATOR CAR CONTROLS SHALL BE SEPARATED 3/16 INCH (4.8 MM) MINIMUM AND SHALL BE LOCATED DIRECTLY BELOW THE CORRESPONDING RAISED CHARACTERS OR SYMBOLS.)
- INSTALLATION HEIGHT AND LOCATION.** SIGNS WITH TACTILE CHARACTERS SHALL COMPLY WITH SECTION 11B703.4. TACTILE CHARACTERS ON SIGNS SHALL BE LOCATED 48 INCHES (1219 MM) MINIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE LOWEST BRAILLE CELLS AND 60 INCHES (1524 MM) MAXIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE HIGHEST LINE OF RAISED CHARACTERS. EXCEPTION: TACTILE CHARACTERS FOR ELEVATOR CAR CONTROLS SHALL NOT BE REQUIRED TO COMPLY WITH SECTION 11B-703.4.1.) WHERE A TACTILE SIGN IS PROVIDED AT A DOOR, THE SIGN SHALL BE LOCATED ALONGSIDE THE DOOR AT THE LATCH SIDE. WHERE A TACTILE SIGN IS PROVIDED AT DOUBLE DOORS WITH ONE ACTIVE LEAF. THE SIGN SHALL BE LOCATED ON THE INACTIVE LEAF. WHERE A TACTILE SIGN IS PROVIDED AT DOUBLE DOORS WITH TWO ACTIVE LEAFS, THE SIGN SHALL BE LOCATED TO THE RIGHT OF THE RIGHT HAND DOOR. WHERE THERE IS NO WALL SPACE AT THE LATCH SIDE OF A SINGLE DOOR OR AT THE RIGHT SIDE OF DOUBLE DOORS, SIGNS SHALL BE LOCATED ON THE NEAREST ADJACENT WALL. SIGNS CONTAINING TACTILE CHARACTERS SHALL BE LOCATED SO THAT A CLEAR FLOOR SPACE OF 18 INCHES (457 MM) MINIMUM BY 18 INCHES (457 MM) MINIMUM, CENTERED ON THE TACTILE CHARACTERS, IS PROVIDED BEYOND THE ARC OF ANY DOOR SWING BETWEEN THE CLOSED POSITION AND 45 DEGREE OPEN POSITION. WHERE NEARBY IDENTIFICATION SIGNAGE IS PROVIDED FOR ROOMS AND SPACES THEY SHALL BE LOCATED ON THE APPROACH SIDE OF THE DOOR AS ONE ENTERS THE ROOM OR SPACE. SIGNS THAT IDENTIFY EXITS SHALL BE LOCATED ON THE APPROACH SIDE OF THE DOOR AS ONE EXITS THE ROOM OR SPACE.
- VISUAL CHARACTERS.** VISUAL CHARACTERS SHALL COMPLY WITH SECTION 11B-703.5. (EXCEPTION: WHERE VISUAL CHARACTERS COMPLY WITH SECTION 11B-703.2 AND ARE ACCOMPANIED BY BRAILLE COMPLYING WITH SECTION 11B-703.3, THEY SHALL NOT BE REQUIRED TO COMPLY WITH SECTIONS 11B-703.5.2 THROUGH 11B-703.5.6, 11B-703.5.8 AND 11B-703.5.9) CHARACTERS AND THEIR BACKGROUND SHALL HAVE A NON-GLARE FINISH. CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND WITH EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND. MINIMUM CHARACTER HEIGHT SHALL COMPLY WITH TABLE 11B-703.5.5.
- PICTOGRAMS.** PICTOGRAMS SHALL COMPLY WITH SECTION 11B-703.6. PICTOGRAMS SHALL HAVE A FIELD HEIGHT OF 6 INCHES (152 MM) MINIMUM. CHARACTERS AND BRAILLE SHALL NOT BE LOCATED IN THE PICTOGRAM FIELD. PICTOGRAMS AND THEIR FIELD SHALL HAVE A NON-GLARE FINISH. PICTOGRAMS SHALL CONTRAST WITH THEIR FIELD WITH EITHER A LIGHT PICTOGRAM ON A DARK FIELD OR A DARK PICTOGRAM ON A LIGHT FIELD. PICTOGRAMS SHALL HAVE TEXT DESCRIPTORS LOCATED DIRECTLY BELOW THE PICTOGRAM FIELD. TEXT DESCRIPTORS SHALL COMPLY WITH SECTIONS 11B-703.2, 11B-703.3 AND 11B-703.4.
- SYMBOLS OF ACCESSIBILITY.** SYMBOLS OF ACCESSIBILITY SHALL COMPLY WITH SECTION 11B-703.7. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL COMPLY WITH FIGURE 11B-703.7.2.1. THE SYMBOL SHALL CONSIST OF A WHITE FIGURE ON A BLUE BACKGROUND. THE BLUE SHALL BE COLOR NO. 15090 IN FEDERAL STANDARD 595B. THE INTERNATIONAL SYMBOL OF TTY SHALL COMPLY WITH FIGURE 11B-703.7.2.2. TELEPHONES WITH A VOLUME CONTROL SHALL BE IDENTIFIED BY A PICTOGRAM OF A TELEPHONE HANDSET WITH RADIATING SOUND WAVES ON A SQUARE FIELD SUCH AS SHOWN IN FIGURE 11B-703.7.2.3. ASSISTIVE LISTENING SYSTEMS SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL OF ACCESS FOR HEARING LOSS COMPLYING WITH FIGURE 11B-703.7.2.4. DOORWAYS LEADING TO TOILET ROOMS AND BATHING ROOMS SHALL BE IDENTIFIED BY A GEOMETRIC SYMBOL COMPLYING WITH SECTION 11B-703.7.2.6. THE SYMBOL SHALL BE MOUNTED AT 58 INCHES (1473 MM) MINIMUM AND 60 INCHES (1524 MM) MAXIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE MEASURED FROM THE CENTERLINE OF THE SYMBOL. WHERE A DOOR IS PROVIDED THE SYMBOL SHALL BE MOUNTED WITHIN 1 INCH (25 MM) OF THE VERTICAL CENTERLINE OF THE DOOR.



NOTE: SHALL BE VISIBLE EVEN WHEN CAR IS PARKED. ALTERNATE PAINT THE ENTIRE STALL OR SPACE BLUE AND OUTLINE ON THE GROUND SYMBOL ABOVE. 11B-502.6.4.1 & 11B-502.6.4.2 REFER TO FIGURE 11B-703.7.2.1 CBC.

C. PARKING STALL SURFACE IDENTIFICATION ON GROUND



A. ELEVATION B. TOP VIEW AT FREESTANDING CHANNEL POST

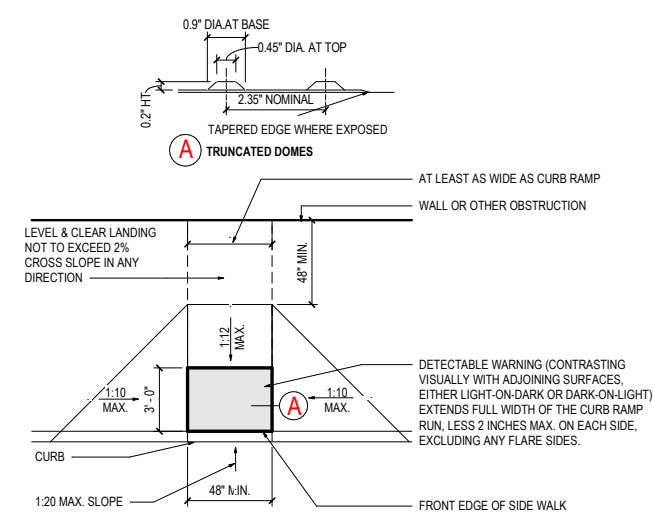
4 ACCESSIBLE PARKING SIGNAGE
3/8" = 1'-0"

UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING Distinguishing PLACARDS OR SPECIAL LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES WILL BE TOWED AWAY AT THE OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT

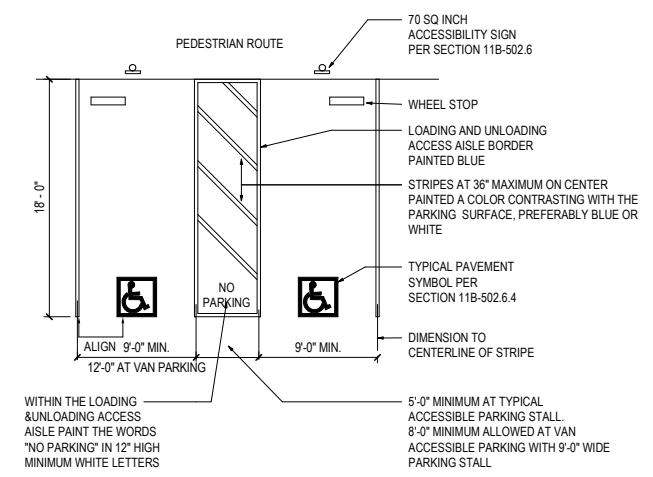
OR BY TELEPHONING

★ BLANK SPACES ARE TO BE FILLED IN WITH APPROPRIATE INFORMATION AS A PERMANENT PART OF THE SIGN

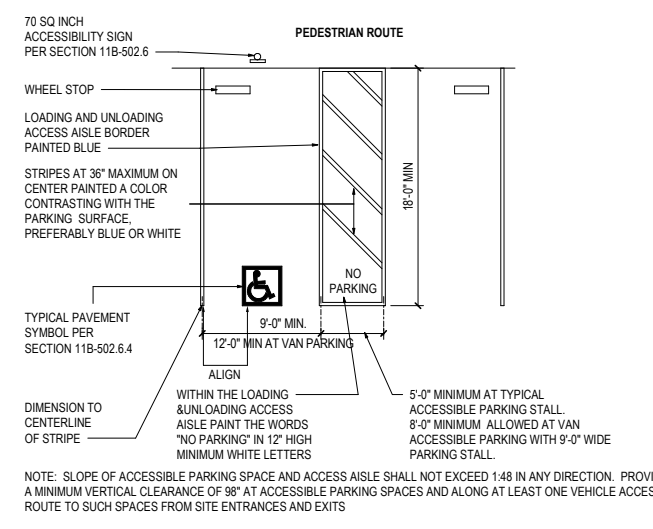
NOTES: A SIGN SHALL BE POSTED IN A CONSPICUOUS PLACE, AT EACH ENTRANCE TO OFF-STREET PARKING FACILITIES, OR IMMEDIATELY ADJACENT TO AND VISIBLE FROM EACH STALL OR SPACE



3 ACCESSIBLE CURB RAMP
1 : 50



2 ACCESSIBLE PARKING STALL - DOUBLE
1 : 80



1 ACCESSIBLE PARKING STALL - SINGLE
1 : 80

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Date	Description
02/18/2022	50% DESIGN DEVELOPMENT
04/15/2022	DESIGN DEVELOPMENT ISSUANCE
12/23/2022	50% CONSTRUCTION DOCUMENTS
02/17/2023	PLAN CHECK SUBMISSION

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
9176 SUNSET

Project Number
05.2543.000

Description
ACCESSIBILITY REQUIREMENTS & DETAILS

Scale
As indicated

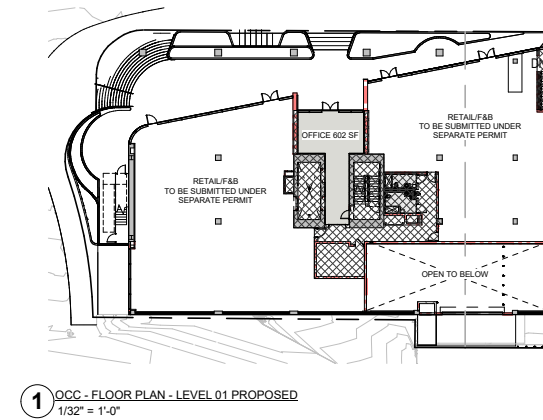
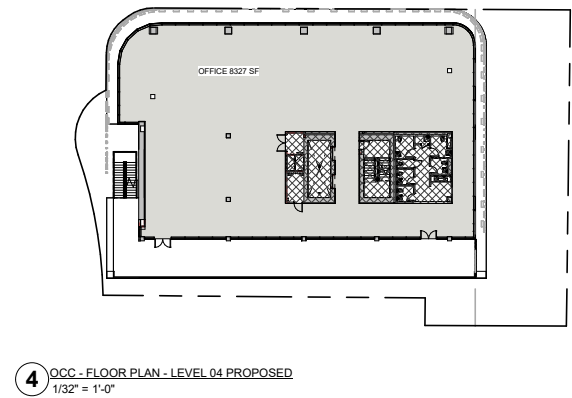
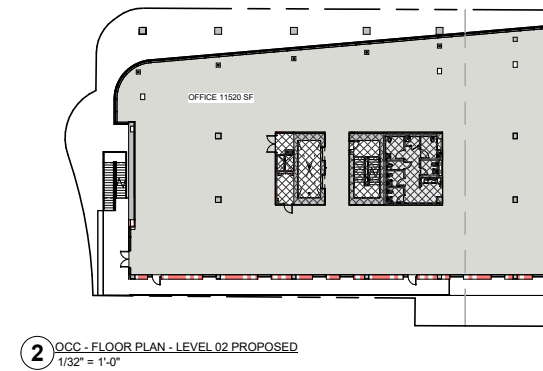
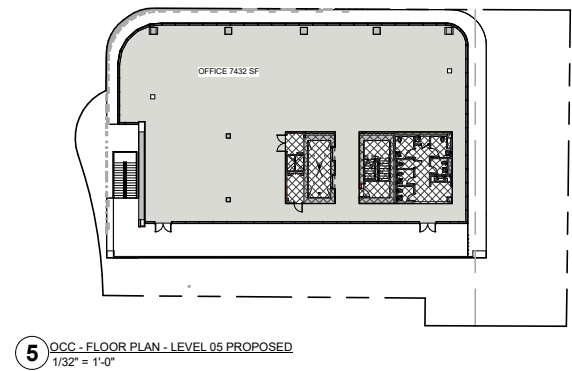
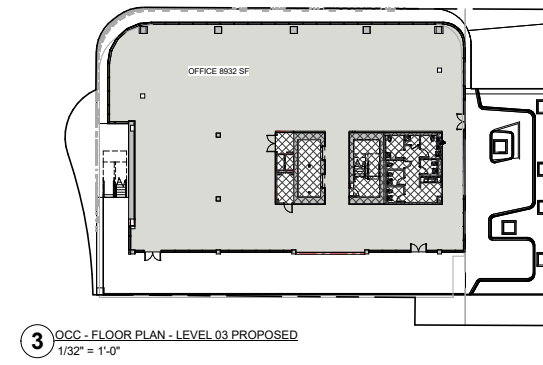
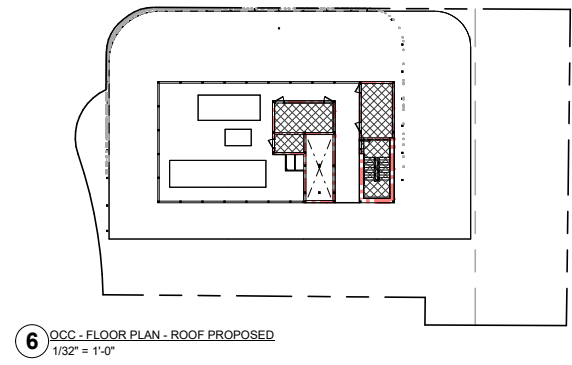
G0.300

SHEET NOTES

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GENERAL NOTES

- ACCESSORY AREAS (NON-SIMULTANEOUS PER TABLE A 2019 CPC)
- AREA FOR CALCULATION

Date	Description
04/15/2022	DESIGN DEVELOPMENT ISSUANCE
12/23/2022	50% CONSTRUCTION DOCUMENTS
02/17/2023	PLAN CHECK SUBMISSION

Seal / Signature

NOT FOR CONSTRUCTION

Project Name

9176 SUNSET

Project Number

05.2543.000

Description

OCCUPANCY DIAGRAMS FOR PLUMBING CALCULATION

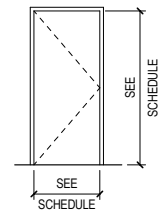
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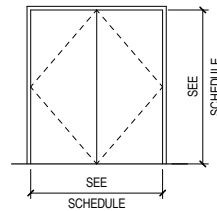
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PLUMBING FIXTURE CALCULATION

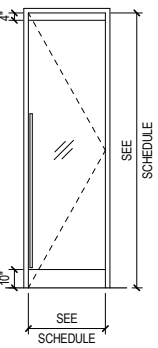
	TYPE OF OCCUPANCY	AREA	OCCUPANT LOAD	OCCUPANCY			WC (TOILETS)			URINALS	LAV (SINKS)		DRINKING FOUNTAINS	SERVICE SINK	NOTE:
				M	F	T	M	F	M	F	S				
LEVEL 1 - REQUIRED	OFFICE SPACE - B OCCUPANCY	602	200	3.01	2.00	2.00	1	1	1	1	1	1			Retail/F&B will be under separate permit
LEVEL 1 - PROVIDED							2 SINGLE-USE RESTROOMS WITH SHOWERS								
LEVEL 2 - REQUIRED	OFFICE SPACE - B OCCUPANCY	11520	200	57.60	29.00	29.00	1	2	1	1	1				Assumes Simultaneous Occupancy of terrace PROPOSED DESIGN IS FOR SHARED, GENDER INCLUSIVE RESTROOMS
LEVEL 2 - PROVIDED							6 TOILETS			6 SINKS					
LEVEL 3 - REQUIRED	OFFICE SPACE - B OCCUPANCY	8932	200	44.66	23.00	23.00	1	2	1	1	1				Assumes Simultaneous Occupancy of terrace PROPOSED DESIGN IS FOR SHARED, GENDER INCLUSIVE RESTROOMS
LEVEL 3 - PROVIDED							6 TOILETS			6 SINKS					
LEVEL 4 - REQUIRED	OFFICE SPACE - B OCCUPANCY	8327	200	41.64	21.00	21.00	1	2	1	1	1				Assumes Simultaneous Occupancy of terrace PROPOSED DESIGN IS FOR SHARED, GENDER INCLUSIVE RESTROOMS
LEVEL 4 - PROVIDED							6 TOILETS			6 SINKS					
LEVEL 5 - REQUIRED	OFFICE SPACE - B OCCUPANCY	7432	200	37.16	19.00	19.00	1	2	1	1	1				Assumes Simultaneous Occupancy of terrace PROPOSED DESIGN IS FOR SHARED, GENDER INCLUSIVE RESTROOMS
LEVEL 5 - PROVIDED				185.00			6 TOILETS			6 SINKS		2	1	2 Drinking Fountains provided (on L01 and L03); 4 service sinks provided (on L02 thru L05)	



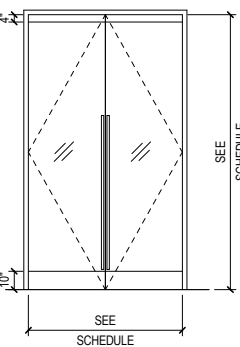
DOOR TYPE A
SINGLE DOOR



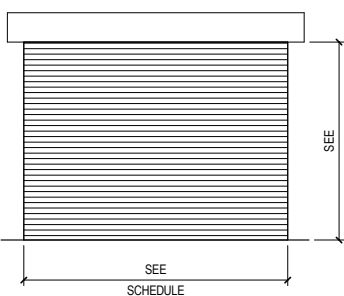
DOOR TYPE B
DOUBLE DOOR



DOOR TYPE C
SINGLE DOOR, GLASS LITE



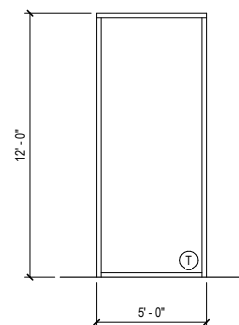
DOOR TYPE D
DOUBLE DOOR, GLASS LITES



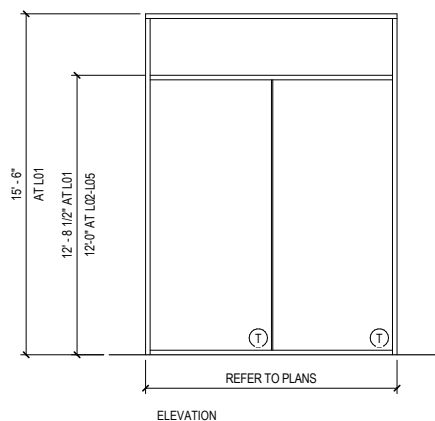
DOOR TYPE E
OVERHEAD ROLLING DOOR

1 DOOR TYPES
1/4" = 1'-0"

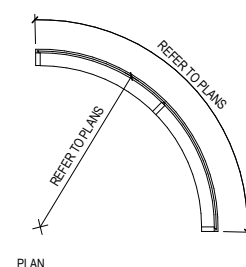
DOOR SCHEDULE															
DOOR NUMBER	ROOM NAME	DOOR TYPE	WIDTH	HEIGHT	THICKNESS	DOOR MATERIAL	DOOR FINISH	FRAME MATERIAL	FRAME FINISH	HEAD DETAIL	SILL DETAIL	JAMB DETAIL	HARDWARE GROUP	FIRE RATING	COMMENTS
B300.1	STORMWATER FILTRATION ROOM	B	6'-0"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	7/A5.100		8/A5.100	26		
B302.1	STAIR 3	A	3'-0"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	2/A5.100		3/A5.100	04	90	
B303.1	STAIR 2	A	3'-0"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	2/A5.100		3/A5.100	04	90	
B304.1	ELEC RM	A	3'-0"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	2/A5.100		3/A5.100	22	45	
B305.1	CORRIDOR	B	6'-0"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	2/A5.100		3/A5.100	07	90	
B306.1	CORRIDOR	B	6'-0"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	2/A5.100		3/A5.100	07	90	
B307.1	CORRIDOR	A	3'-0"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	2/A5.100		3/A5.100	15	90	
B307.2	CORRIDOR	B	6'-0"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	2/A5.100		3/A5.100	07	90	
B308.1	CORRIDOR	A	3'-0"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	2/A5.100		3/A5.100	04A	90	
B200.1	STORAGE	A	3'-0"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	7/A5.100		8/A5.100	22		
B202.1	STAIR 3	A	3'-0"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	2/A5.100		3/A5.100	04	90	
B203.1	STAIR 2	A	3'-0"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	2/A5.100		3/A5.100	04	90	
B204.1	ELEC RM	A	3'-0"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	2/A5.100		3/A5.100	22	45	
B205.1	GREASE INTERCEPTOR ROOM	B	6'-0"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	7/A5.100		8/A5.100	27	90	
B206.1	MAIN ELECTRICAL ROOM	A	3'-0"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	7/A5.100 SIM		8/A5.100 SIM	17	90	
B206.2	MAIN ELECTRICAL ROOM	B	6'-0"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	7/A5.100 SIM		8/A5.100 SIM	17	90	
B206.3	MECH SHAFT	A	3'-0"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	7/A5.100 SIM		8/A5.100 SIM	17	90	
B207	PARKING	A	3'-0"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	7/A5.100		8/A5.100	17	90	
B100.1	LONG TERM BIKE STORAGE	A	3'-0"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	7/A5.100		8/A5.100	22		
B101.1	PARKING	E	22'-0"	9'-2"	0'-2"	AL	ANNO	AL	ANNO	3/A5.102	2/A5.102	1/A5.102			OVERHEAD ROLLING DOOR, BASIS OF DESIGN: COOKSON HEAVY DUTY 5015 ROLLING GRILLE MODEL 5015, WITH C9 CURTAIN
B101.2	PARKING	E	22'-0"	15'-0"	0'-2"	AL	ANNO	AL	ANNO	6/A5.102	5/A5.102	4/A5.102			OVERHEAD ROLLING DOOR, BASIS OF DESIGN: COOKSON HEAVY DUTY 5015 ROLLING GRILLE MODEL 5015, WITH C9 CURTAIN
B102.1	PARKING	A	3'-0"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	2/A5.100		3/A5.100	04	90	
B103.1	STAIR 2	A	3'-0"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	2/A5.100		3/A5.100	04	90	
B104.1	TRASH ROOM	B	6'-0"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	7/A5.100		8/A5.100	23	90	FIRE-RATED LOUVER ON BOTH LEAFS OF DOOR FOR MAKE-UP AIR
B105.1	STORAGE	A	3'-0"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	7/A5.100		8/A5.100	22		
B106.1	MPQE	A	3'-0"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	7/A5.100		8/A5.100	25	45	
100.1	STAIR 1	A	3'-0"	7'-0"	0'-1"	HM	PTD	HM	PTD				06A		
100.2	UTILITY ENCLOSURE	A	3'-0"	7'-0"	0'-1"	HM	PTD	HM	PTD				06A		
101.1	LOBBY	D	6'-0"	12'-0"		GL	AB-8 BLACK	AL	AB-8 BLACK	6/CDC.08	2/CDC.08	3/CDC.08	01		
102.1	STAIR 3	A	3'-0"	8'-0"	0'-1 3/4"	HM	PTD	HM	PTD	5/A5.100	4/A5.100	6/A5.100	02		
103.1	STAIR 2	A	3'-0"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	2/A5.100		3/A5.100	03	90	
103.2	STAIR 2	A	3'-0"	7'-0"	0'-1"	HM	PTD	HM	PTD				06A		
106.1	ELEC CL	B	6'-0"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	2/A5.100		3/A5.100	07	90	
107.1	CIRCULATION	B	6'-0"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	2/A5.100		3/A5.100	08		
107.2	CIRCULATION	A	3'-0"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	2/A5.100		3/A5.100	09	45	
107.3	CIRCULATION	A	3'-0"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	2/A5.100		3/A5.100	09	45	
107.4	CIRCULATION	A	3'-0"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	2/A5.100		3/A5.100	09	45	
108.1	ADA BIKE RESTROOM + SHOWER	A	3'-0"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	2/A5.100	1/A5.100	3/A5.100	10		
109.1	BIKE RESTROOM + SHOWER	A	3'-0"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	2/A5.100	1/A5.100	3/A5.100	10		
110.1	EMERGENCY ELECTRICAL ROOM	A	3'-0"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	2/A5.100		3/A5.100	16	90	
111.1	RETAIL/F&B	C	3'-6"	12'-0"		GL	AB-8 BLACK	AL	AB-8 BLACK	6/CDC.08	2/CDC.08	3/CDC.08 SIM	12		
111.2	RETAIL/F&B	D	6'-0"	12'-0"		GL	AB-8 BLACK	AL	AB-8 BLACK	6/CDC.08	2/CDC.08	3/CDC.08	13		
112.1	RETAIL/F&B	D	6'-0"	12'-0"		GL	AB-8 BLACK	AL	AB-8 BLACK	6/CDC.08	2/CDC.08	3/CDC.08	13		
112.2	RETAIL/F&B	D	6'-0"	12'-0"		GL	AB-8 BLACK	AL	AB-8 BLACK	6/CDC.08	2/CDC.08	3/CDC.08	13		
201.1	TERRACE	D	6'-0"	8'-0"		GL	AB-8 BLACK	AL	AB-8 BLACK	4/CDC.09	11/CDC.09	3/CDC.08 SIM	12		
201.2	TERRACE	C	3'-0"	8'-0"		GL	AB-8 BLACK	AL	AB-8 BLACK	4/CDC.09	11/CDC.09	3/CDC.08 SIM	12		
201.7	TERRACE	C	3'-0"	8'-0"		GL	AB-8 BLACK	AL	AB-8 BLACK	4/CDC.09	11/CDC.09	3/CDC.08 SIM	12		
203.1	STAIR 2	A	3'-0"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	2/A5.100		3/A5.100	05	90	
204.1	IDF	B	6'-0"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	2/A5.100	3/A5.101	3/A5.100	14	90	
205.1	ELEC RM	A	3'-0"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	2/A5.100		3/A5.100	15	90	
206A.1	STALL	A	2'-6"	7'-0"	0'-1 3/4"	WD	WD	WD	WD	1/A5.101		2/A5.101	19		
206B.1	STALL	A	2'-6"	7'-0"	0'-1 3/4"	WD	WD	WD	WD	1/A5.101		2/A5.101	19		
206C.1	STALL	A	2'-6"	7'-0"	0'-1 3/4"	WD	WD	WD	WD	1/A5.101		2/A5.101	20		
206D.1	ADA STALL	A	3'-0"	7'-0"	0'-1 3/4"	WD	WD	WD	WD	1/A5.101		2/A5.101	19		
206E.1	ADA STALL	A	3'-0"	7'-0"	0'-1 3/4"	WD	WD	WD	WD	1/A5.101		2/A5.101	19		
206F.1	STALL	A	2'-6"	7'-0"	0'-1 3/4"	WD	WD	WD	WD	1/A5.101		2/A5.101	19		
207.1	JAN CL	A	2'-6"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	2/A5.100		3/A5.100	21		
301.1	OFFICE	D	6'-0"	8'-0"		GL	AB-8 BLACK	AL	AB-8 BLACK	4/CDC.09	11/CDC.09	3/CDC.08	13		
301.2	OFFICE	D	6'-0"	8'-0"		GL	AB-8 BLACK	AL	AB-8 BLACK	4/CDC.09	11/CDC.09	3/CDC.08	13		
301.3	OFFICE	D	6'-0"	8'-0"		GL	AB-8 BLACK	AL	AB-8 BLACK	4/CDC.09	11/CDC.09	3/CDC.08	13		
303.1	STAIR 2	A	3'-0"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	2/A5.100		3/A5.100	05	90	
304.1	IDF	B	6'-0"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	2/A5.100	3/A5.101	3/A5.100	14	90	
305.1	ELEC RM	A	3'-0"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	2/A5.100		3/A5.100	15	90	
306A.1	STALL	A	2'-6"	7'-0"	0'-1 3/4"	WD	WD	WD	WD	1/A5.101		2/A5.101	19		
306B.1	STALL	A	2'-6"	7'-0"	0'-1 3/4"	WD	WD	WD	WD	1/A5.101		2/A5.101	19		
306C.1	STALL	A	2'-6"	7'-0"	0'-1 3/4"	WD	WD	WD	WD	1/A5.101		2/A5.101	20		
306D.1	ADA STALL	A	3'-0"	7'-0"	0'-1 3/4"	WD	WD	WD	WD	1/A5.101		2/A5.101	19		
306E.1	ADA STALL	A	3'-0"	7'-0"	0'-1 3/4"	WD	WD	WD	WD	1/A5.101		2/A5.101	19		
306F.1	STALL	A	2'-6"	7'-0"	0'-1 3/4"	WD	WD	WD	WD	1/A5.101		2/A5.101	19		
307.1	JAN CL	A	2'-6"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	2/A5.100		3/A5.100	21		
401.1	OFFICE	D	6'-0"	8'-0"		GL	AB-8 BLACK	AL	AB-8 BLACK	4/CDC.09	11/CDC.09	3/CDC.08	13		
401.2	OFFICE	D	6'-0"	8'-0"		GL	AB-8 BLACK	AL	AB-8 BLACK	4/CDC.09	11/CDC.09	3/CDC.08	13		
403.1	STAIR 2	A	3'-0"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	2/A5.100		3/A5.100	05	90	
404.1	IDF	B	6'-0"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	2/A5.100	3/A5.101	3/A5.100	14	90	
405.1	ELEC RM	A	3'-0"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	2/A5.100		3/A5.100	15	90	
406A.1	STALL	A	2'-6"	7'-0"	0'-1 3/4"	WD	WD	WD	WD	1/A5.101		2/A5.101	19		
406B.1	STALL	A	2'-6"	7'-0"	0'-1 3/4"	WD	WD	WD	WD	1/A5.101		2/A5.101	19		
406C.1	STALL	A	2'-6"	7'-0"	0'-1 3/4"	WD	WD	WD	WD	1/A5.101		2/A5.101	20		
406D.1	ADA STALL	A	3'-0"	7'-0"	0'-1 3/4"	WD	WD	WD	WD	1/A5.101		2/A5.101	19		
406E.1	ADA STALL	A	3'-0"	7'-0"	0'-1 3/4"	WD	WD	WD	WD	1/A5.101		2/A5.101	19		
406F.1	STALL	A	2'-6"	7'-0"	0'-1 3/4"	WD	WD	WD	WD	1/A5.101		2/A5.101	19		
407.1	JAN CL	A	2'-6"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	2/A5.100		3/A5.100	21		
501.1	OFFICE	D	6'-0"	8'-0"		GL	AB-8 BLACK	AL	AB-8 BLACK	4/CDC.09	11/CDC.09	3/CDC.08	13		
501.2	OFFICE	D	6'-0"	8'-0"		GL	AB-8 BLACK	AL	AB-8 BLACK	4/CDC.09	11/CDC.09	3/CDC.08	13		
503.1	STAIR 2	A	3'-0"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	2/A5.100		3/A5.100	05	90	
504.1	IDF	B	6'-0"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	2/A5.100	3/A5.101	3/A5.100	14	90	
505.1	ELEC RM	A	3'-0"	7'-0"	0'-1 3/4"	HM	PTD	HM	PTD	2/A5.100		3/A5.100	15	90	
506A.1	STALL	A	2'-6"	7'-0"	0'-1 3/4"	WD	WD	WD	WD	1/A5.101		2/A5.101	19		
506B.1	STALL	A	2'-6"	7'-0"	0'-1 3/4"	WD	WD	WD	WD	1/A5.101		2/A5.101	19		
506C.1	STALL	A	2'-6"	7'-0"	0'-1 3/4"	WD	WD	WD	WD	1/A5.101					



WINDOW/STOREFRONT TYPE 3
SINGLE FIXED PANEL

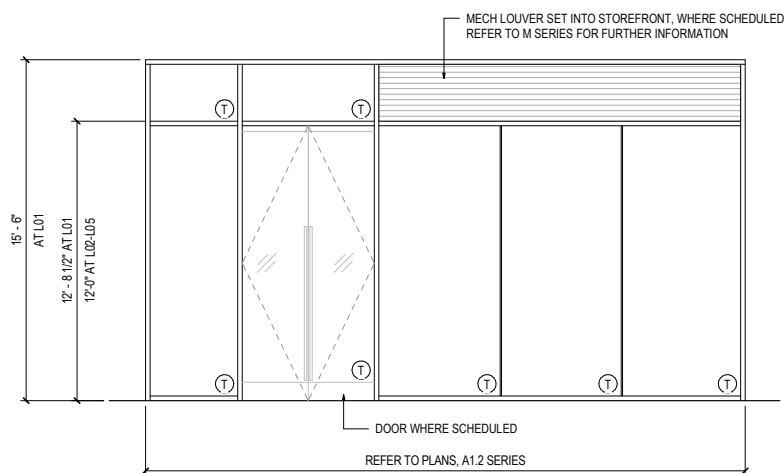


ELEVATION



PLAN

WINDOW/STOREFRONT TYPE 2
CURVED



WINDOW/STOREFRONT TYPE 1
STRAIGHT

1 GLAZING TYPES
1/4" = 1'-0"

STOREFRONT GLAZING SCHEDULE							
GLAZING NUMBER	TYPE	GLASS TYPE	DESCRIPTION	HEAD DETAIL	SILL DETAIL	JAMB DETAIL	COMMENTS
W-101A	TYPE 1	GL-1	STRAIGHT STOREFRONT GLAZING	9/CDC.08	1/CDC.08	8/CDC.08	SEE DOOR SCHEDULE FOR DOORS WITHIN STOREFRONT SYSTEM
W-111A	TYPE 2	GL-1	CURVED STOREFRONT GLAZING	9/CDC.08	1/CDC.08	4/CDC.08	
W-111B	TYPE 1	GL-1	STRAIGHT STOREFRONT GLAZING	5 and 9/CDC.08	1/CDC.08	4/CDC.08	SEE DOOR SCHEDULE FOR DOORS WITHIN STOREFRONT SYSTEM
W-111D	TYPE 1	GL-2	STRAIGHT STOREFRONT GLAZING	9/CDC.08	2/CDC.09 SIM	8/CDC.08 SIM	3/4-HR FIRE RATED GLAZING AND FRAME
W-112A	TYPE 1	GL-1	STRAIGHT STOREFRONT GLAZING	5 and 9/CDC.08	1/CDC.08	4/CDC.08	SEE DOOR SCHEDULE FOR DOORS WITHIN STOREFRONT SYSTEM
W-201A	TYPE 1	GL-1	STRAIGHT STOREFRONT GLAZING	2/CDC.09	2/CDC.09	3/CDC.09	
W-201B	TYPE 1	GL-1	STRAIGHT STOREFRONT GLAZING	8/CDC.09	1/CDC.09	3/CDC.09	
W-201C	TYPE 2	GL-1	CURVED STOREFRONT GLAZING	8/CDC.09	1/CDC.09	9/CDC.09	
W-201D	TYPE 1	GL-1	STRAIGHT STOREFRONT GLAZING	8/CDC.09	1/CDC.09	7/CDC.09	
W-201E	TYPE 1	GL-2	STRAIGHT STOREFRONT GLAZING	9/CDC.10	1/CDC.10	7/CDC.09 SIM	SEE DOOR SCHEDULE FOR DOORS WITHIN STOREFRONT SYSTEM; 3/4 FIRE-RATED GLAZING AND FRAME
W-201F	TYPE 1	GL-1	STRAIGHT STOREFRONT GLAZING	8/CDC.09	11/CDC.09	7/CDC.09	SEE DOOR SCHEDULE FOR DOORS WITHIN STOREFRONT SYSTEM
W-201G	TYPE 1	GL-1	STRAIGHT STOREFRONT GLAZING	8/CDC.09	11/CDC.09	7/CDC.09	
W-201H	TYPE 1	GL-1	STRAIGHT STOREFRONT GLAZING	8/CDC.09	11/CDC.09	7/CDC.09	
W-201J	TYPE 1	GL-1	STRAIGHT STOREFRONT GLAZING	8/CDC.09	11/CDC.09	7/CDC.09	
W-201K	TYPE 1	GL-1	STRAIGHT STOREFRONT GLAZING	8/CDC.09	11/CDC.09	7/CDC.09	
W-201L	TYPE 1	GL-1	STRAIGHT STOREFRONT GLAZING	8/CDC.09	11/CDC.09	7/CDC.09	SEE DOOR SCHEDULE FOR DOORS WITHIN STOREFRONT SYSTEM
W-201M	TYPE 1	GL-1	STRAIGHT STOREFRONT GLAZING	8/CDC.09	1/CDC.09	7/CDC.09	
W-201N	TYPE 1	GL-1	STRAIGHT STOREFRONT GLAZING	8/CDC.09	1/CDC.09	7/CDC.09	
W-201P	TYPE 1	GL-1	STRAIGHT STOREFRONT GLAZING	8/CDC.09	1/CDC.09	7/CDC.09	
W-301A	TYPE 1	GL-1	STRAIGHT STOREFRONT GLAZING	2/CDC.09	2/CDC.09	3/CDC.09	
W-301B	TYPE 1	GL-1	STRAIGHT STOREFRONT GLAZING	8/CDC.09	1/CDC.09	3/CDC.09	
W-301C	TYPE 1	GL-1	STRAIGHT STOREFRONT GLAZING	8/CDC.09	1/CDC.09	5/CDC.09	
W-301D	TYPE 1	GL-1	STRAIGHT STOREFRONT GLAZING	8/CDC.09	1/CDC.09	6/CDC.09	
W-301E	TYPE 2	GL-1	CURVED STOREFRONT GLAZING	8/CDC.09	1/CDC.09	9/CDC.09	
W-301F	TYPE 1	GL-1	STRAIGHT STOREFRONT GLAZING	8/CDC.09	1 AND 10/CDC.09	3 and 6/CDC.09	SEE DOOR SCHEDULE FOR DOORS WITHIN STOREFRONT SYSTEM
W-301G	TYPE 1	GL-1	STRAIGHT STOREFRONT GLAZING	8/CDC.09	10/CDC.09	3/CDC.09 and 3/CDC.10	
W-301H	TYPE 1	GL-1	STRAIGHT STOREFRONT GLAZING	8/CDC.09	10/CDC.09	3/CDC.10	SEE DOOR SCHEDULE FOR DOORS WITHIN STOREFRONT SYSTEM
W-301J	TYPE 1	GL-1	STRAIGHT STOREFRONT GLAZING	8/CDC.09	10/CDC.09	3/CDC.10	
W-301K	TYPE 1	GL-1	STRAIGHT STOREFRONT GLAZING	8/CDC.09	10/CDC.09	3/CDC.10	SEE DOOR SCHEDULE FOR DOORS WITHIN STOREFRONT SYSTEM
W-301L	TYPE 1	GL-2	STRAIGHT STOREFRONT GLAZING	9/CDC.10	1/CDC.10	7/CDC.09 SIM	3/4-HR FIRE RATED GLAZING AND FRAME
W-401A	TYPE 1	GL-1	STRAIGHT STOREFRONT GLAZING	2/CDC.09	2/CDC.09	3/CDC.09	
W-401B	TYPE 1	GL-1	STRAIGHT STOREFRONT GLAZING	8/CDC.09	1/CDC.09	3/CDC.09	
W-401C	TYPE 1	GL-1	STRAIGHT STOREFRONT GLAZING	8/CDC.09	1/CDC.09	5/CDC.09	
W-401D	TYPE 1	GL-1	STRAIGHT STOREFRONT GLAZING	8/CDC.09	1/CDC.09	6/CDC.09	
W-401E	TYPE 2	GL-1	CURVED STOREFRONT GLAZING	8/CDC.09	1/CDC.09	9/CDC.09	
W-401F	TYPE 1	GL-1	STRAIGHT STOREFRONT GLAZING	8/CDC.09	1/CDC.09	3 and 6/CDC.09	
W-401G	TYPE 1	GL-1	STRAIGHT STOREFRONT GLAZING	8/CDC.09	10/CDC.09	3/CDC.09 and 3/CDC.10	
W-401H	TYPE 1	GL-1	STRAIGHT STOREFRONT GLAZING	8/CDC.09	10/CDC.09	3/CDC.10	SEE DOOR SCHEDULE FOR DOORS WITHIN STOREFRONT SYSTEM
W-401J	TYPE 1	GL-1	STRAIGHT STOREFRONT GLAZING	8/CDC.09	10/CDC.09	3/CDC.10	
W-401K	TYPE 1	GL-1	STRAIGHT STOREFRONT GLAZING	8/CDC.09	10/CDC.09	3/CDC.10	
W-401L	TYPE 1	GL-1	STRAIGHT STOREFRONT GLAZING	8/CDC.09	10/CDC.09	3/CDC.10	SEE DOOR SCHEDULE FOR DOORS WITHIN STOREFRONT SYSTEM
W-401M	TYPE 1	GL-2	STRAIGHT STOREFRONT GLAZING	9/CDC.10	1/CDC.10	7/CDC.09 SIM	3/4-HR FIRE RATED GLAZING AND FRAME
W-501A	TYPE 1	GL-1	STRAIGHT STOREFRONT GLAZING	2/CDC.09	2/CDC.09	3/CDC.09	
W-501B	TYPE 1	GL-1	STRAIGHT STOREFRONT GLAZING	8/CDC.09	1/CDC.09	3/CDC.09	
W-501C	TYPE 1	GL-1	STRAIGHT STOREFRONT GLAZING	8/CDC.09	1/CDC.09	5/CDC.09	
W-501D	TYPE 1	GL-1	STRAIGHT STOREFRONT GLAZING	8/CDC.09	1/CDC.09	6/CDC.09	
W-501E	TYPE 2	GL-1	CURVED STOREFRONT GLAZING	8/CDC.09	1/CDC.09	9/CDC.09	
W-501F	TYPE 1	GL-1	STRAIGHT STOREFRONT GLAZING	8/CDC.09	1/CDC.09	3 and 6/CDC.09	
W-501G	TYPE 1	GL-1	STRAIGHT STOREFRONT GLAZING	8/CDC.09	10/CDC.09	3 AND 7/CDC.09	SEE DOOR SCHEDULE FOR DOORS WITHIN STOREFRONT SYSTEM

NOTE: STOREFRONT FRAMING TO BE ALUMINUM, FINISHED IN BLACK (BASIS OF DESIGN IS ARCADIA AB-8 BLACK)

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Gensler

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Date	Description
02/18/2022	50% DESIGN DEVELOPMENT
04/15/2022	DESIGN DEVELOPMENT ISSUANCE
12/23/2022	50% CONSTRUCTION DOCUMENTS
02/17/2023	PLAN CHECK SUBMISSION

Seal / Signature

NOT FOR CONSTRUCTION

Project Name

9176 SUNSET

Project Number

05.2543.000

Description

WINDOW SCHEDULE AND WINDOW TYPES

Scale

1/4" = 1'-0"

A0.200

SHEET NOTES

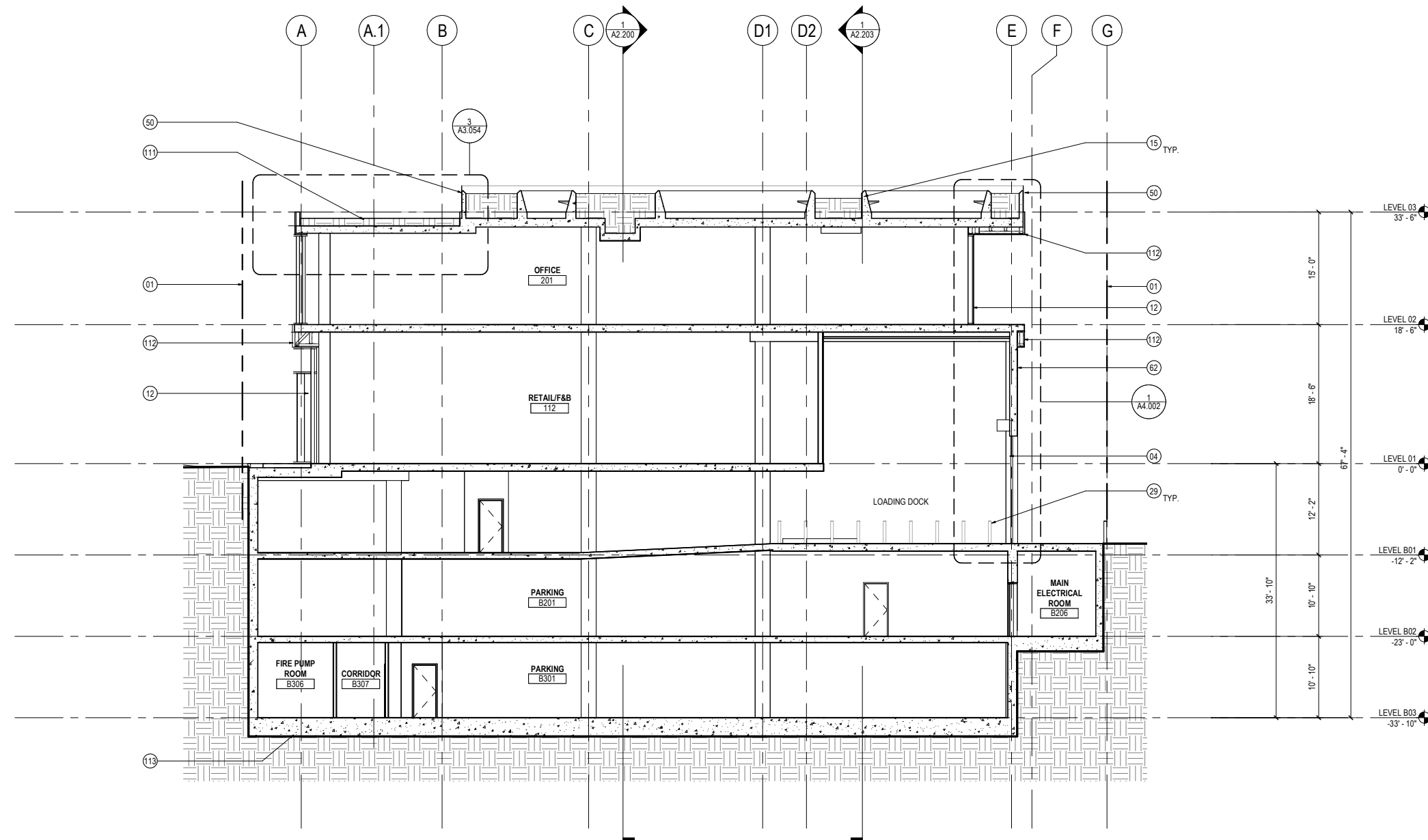
- 01 PROPERTY LINE
- 04 LOADING DOCK GATE
- 12 ALUMINUM WINDOW WALL SYSTEM
- 15 PLANTER; SEE LANDSCAPE DRAWINGS
- 29 BOLLARD
- 50 PLATE STEEL GUARDRAIL
- 62 PLASTER FINISH
- 111 GREEN ROOF
- 112 SOFFIT ASSEMBLY, SEE WALL SECTIONS
- 113 MAT FOUNDATION, SEE STRUCT

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Date	Description
03/12/2021	SCHEMATIC DESIGN ISSUANCE
02/18/2022	50% DESIGN DEVELOPMENT
04/15/2022	DESIGN DEVELOPMENT ISSUANCE
12/23/2022	50% CONSTRUCTION DOCUMENTS
02/17/2023	PLAN CHECK SUBMISSION

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
9176 SUNSET

Project Number
05.2543.000

Description
BUILDING SECTION - N/S @ GL 7

Scale
1/8" = 1'-0"

A2.202

SHEET NOTES

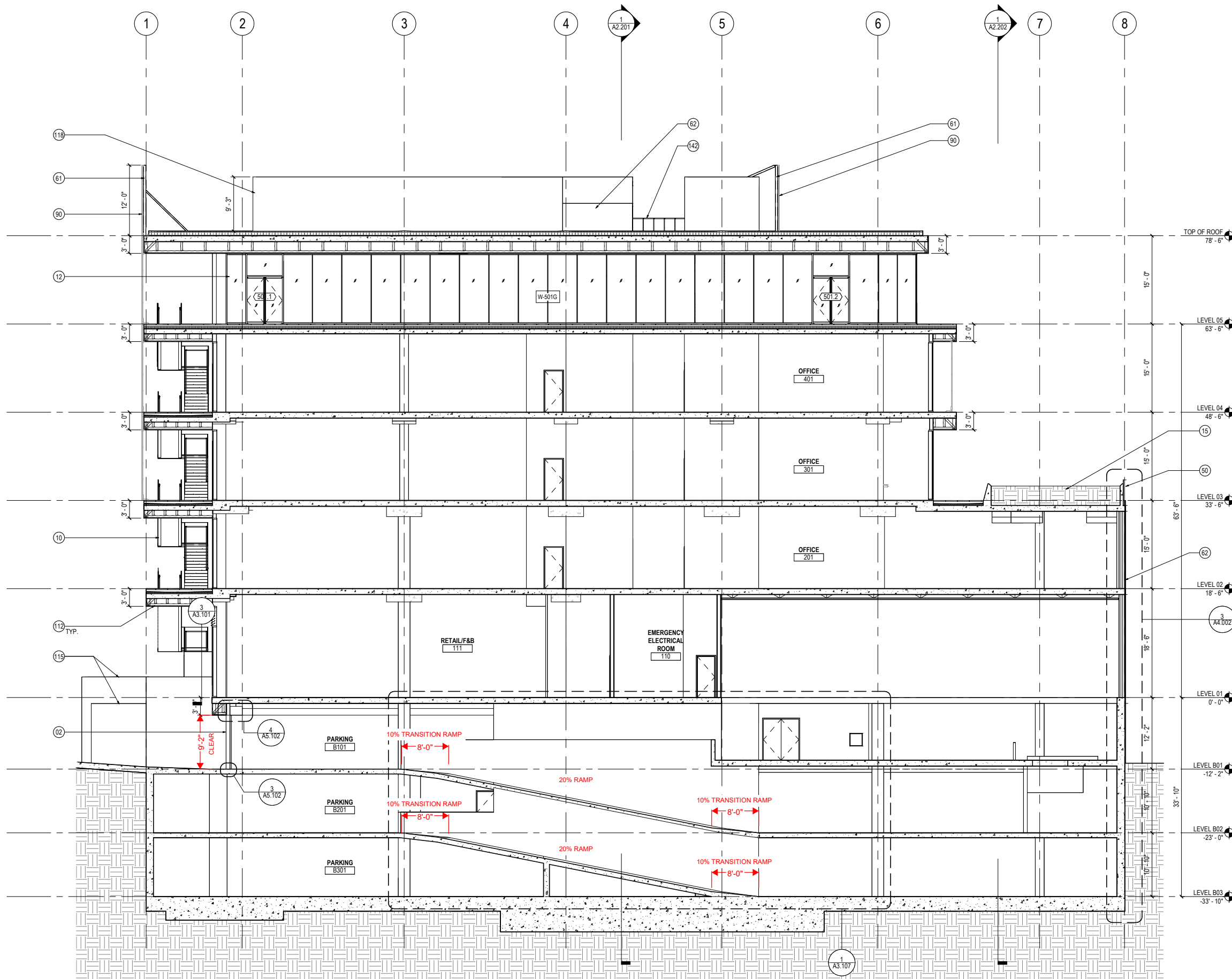
- 02 GARAGE ENTRY GATE
- 10 EXTERIOR PAINTED METAL STAIR
- 12 ALUMINUM WINDOW WALL SYSTEM
- 15 PLANTER; SEE LANDSCAPE DRAWINGS
- 50 PLATE STEEL GUARDRAIL
- 61 STRUCTURAL COLUMN FOR SCREEN SUPPORT
- 62 PLASTER FINISH
- 90 LED SCREEN, REFER TO SV SERIES FOR FURTHER INFORMATION
- 112 SOFFIT ASSEMBLY, SEE WALL SECTIONS
- 115 LANDSCAPE PLANTER; 6" THICK CAST IN PLACE CONCRETE WITH PRESTO FINISH WHERE VISIBLE
- 118 CORRUGATED METAL ENCLOSURE
- 142 PAINTED STEEL OSHA SAFETY RAIL

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Date	Description
12/23/2022	50% CONSTRUCTION DOCUMENTS
02/17/2023	PLAN CHECK SUBMISSION

Seal / Signature

NOT FOR CONSTRUCTION

Project Name

9176 SUNSET

Project Number

05.2543.000

Description

BUILDING SECTION - E/W @ GL D2

Scale

1/8" = 1'-0"

A2.203

SHEET NOTES

- 116 PLASTIC-LAMINATE-CLAD LOCKERS
- 158 CEILING MOUNTED FLUSH ACCESS DOOR 24" X 24", TRIMLESS FRAME, SAME FINISH AS ADJACENT SURFACE

LEGEND

NOTE:

1. ANY WALL RECEIVING TILES SHOULD BE WATER RESISTANT
2. DIMENSIONS SHOWN ARE TO FINISH SURFACE
3. SEE ADA SHEETS FOR REQUIRED MOUNTING HEIGHTS OF RESTROOM FIXTURES AND ACCESSORIES.

PLUMBING FIXTURES:

- P-1: AMERICAN STANDARD MADERA WITH TOUCHLESS ELECTRONIC PISTON FLUSH VALVE MODEL #3043528.020, WHITE
- P-2: KOHLER SOHO, MODEL #K-2084-NR-0, WHITE
- P-3: DURAVIT DURASQUARE DOUBLE FURNITURE WASHBASIN, MODEL #2353120040
- P-4: KOHLER STRAYT, MODEL #K-104537-SANA-CP, STAINLESS STAIN
- P-5: ZURN MOP SERVICE BASIN, MODEL #Z1996-24
- P-6: T&S BRASS SERVICE SINK FAUCET, WALL MOUNT, 8" CENTERS, MODEL #B-0665-BSTR, STAINLESS STAIN
- P-7: ELKAY EZH2O BOTTLE FILLING STATION WITH INTEGRAL SWIRLFLO FOUNTAIN, MODEL #EZWS-ERPBM8K
- P-8: KOHLER RELY 60"x30" SHOWER BASE
- P-9: KOHLER PURIST ESSENTIALS PERFORMANCE SHOWERING PACKAGE, 1.75 GPM, MODEL #K-22181-G-CP

ACCESSORIES:

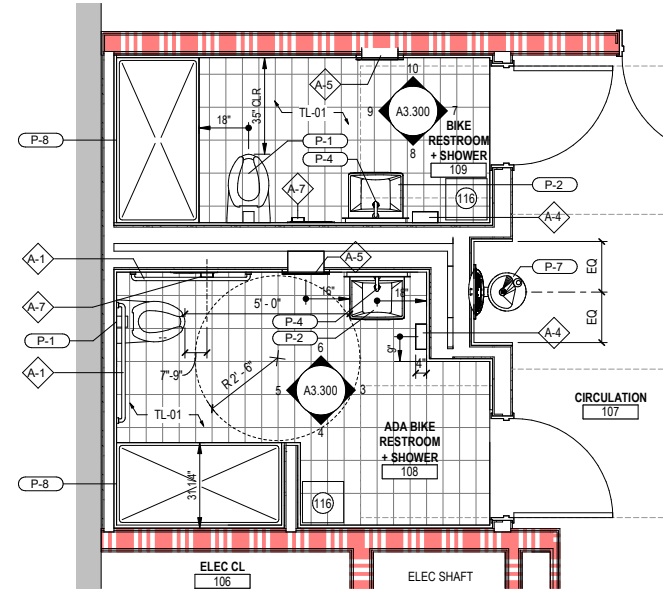
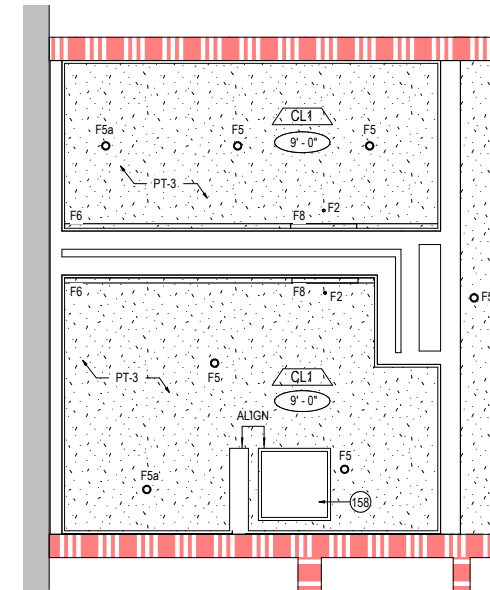
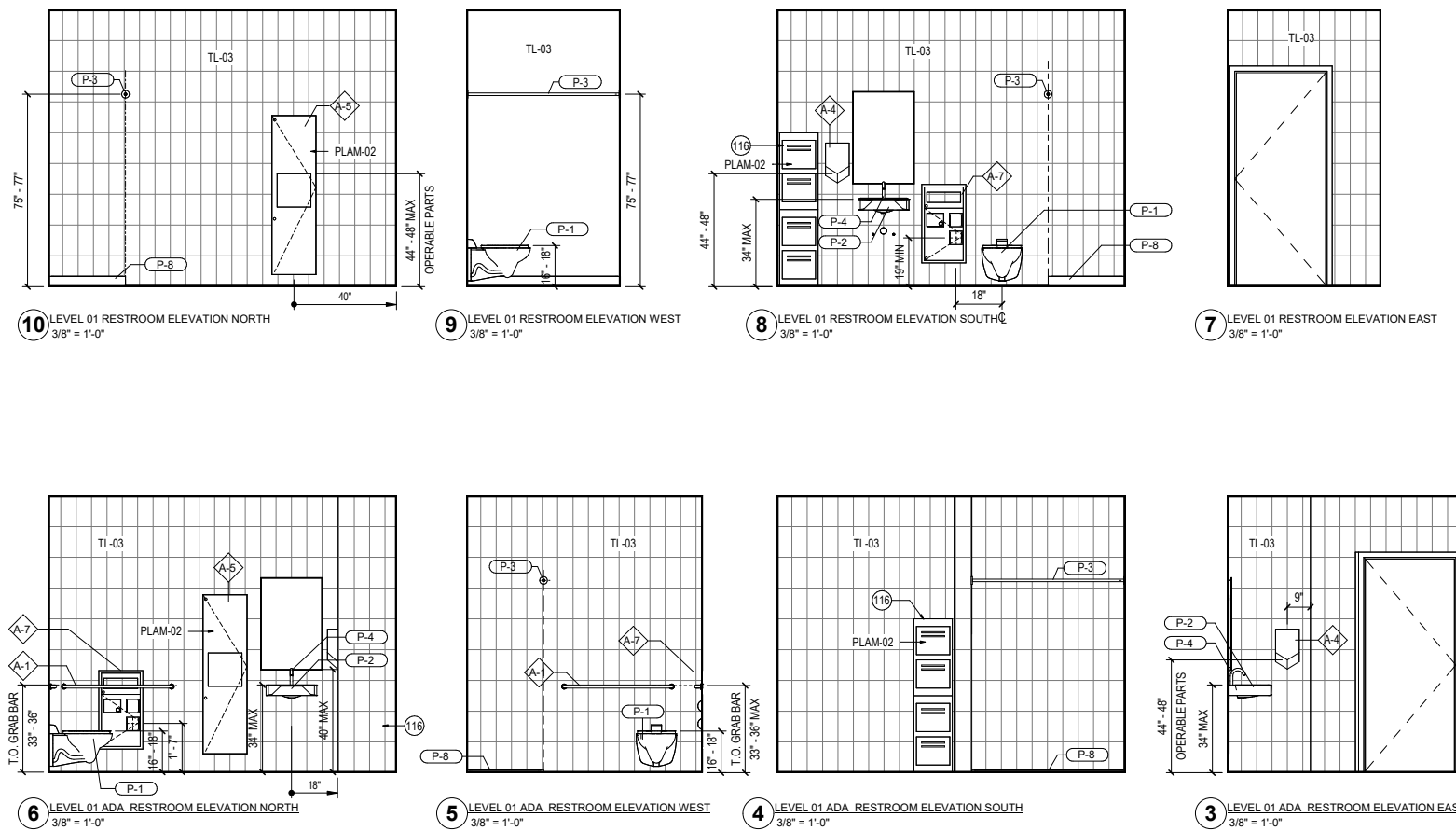
- A-1: BOBRICK STRAIGHT GRAB BAR, FINO COLLECTION, MODEL #B-9806
- A-2: BOBRICK RECESSED SOAP DISPENSER, MODEL #B-306
- A-3: WELDED-FRAME MIRROR, 24"x60", MODEL #B-290. 2460.BMLK
- A-4: DYSON AIRBLADE V
- A-5: BOBRICK RECESSED PAPER TOWEL DISPENSER/WASTE RECEPTACLE, MODEL B-39003 TRIMLINESERIES, STAINLESS STAIN
- A-6: BOBRICK RECESSED PAPER TOWEL DISPENSER, MODEL B-35903 TRIMLINESERIES, STAINLESS STEEL
- A-7: BOBRICK RECESSED SEAT-COVER DISPENSER, SANITARY NAPKIM DISPOSAL AND TOILET TISSE DISPENSER, MODEL #B-35745
- A-8: MOEN DONNER COMMERCIAL SATIN STAINLESS SHOWER ROD, MODEL #55-5
- A-9: RECESSED NAPKIN / TAMPON VENDOR, 25-CENT OPERATION
- A-10: KOALA KARE KB110-SSRE HORIZONTAL STAINLESS STEEL RECESSED MOUNTED BABY CHANGING STATION

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GENERAL NOTES

1. MATERIALS WHICH ARE IN SIMILAR LOCATIONS ARE NOT NOTED AT EVERY OCCURRENCE SEE FINISH PLANS, REFLECTED CEILING PLANS, INTERIOR ELEVATIONS, AND FINISH LEGEND FOR ADDITIONAL FINISH INFORMATION.
2. SEE DOOR AND FRAME TYPES FOR ADDITIONAL INFORMATION AND REFERENCES TO DETAILS.
3. MECHANICAL GRILLES AND ACCESS PANELS IN WALLS SHALL MATCH THE COLOR OF ADJACENT WALL WHERE LOCATED, UNLESS NOTED OTHERWISE.
4. DOORS NOT LOCATED BY DIMENSION ARE TO BE CENTERED IN WALLS AS SHOWN OR LOCATED 4" FROM FACE OF STUD TO FACE OF JAMB.

Date	Description
02/18/2022	50% DESIGN DEVELOPMENT
04/15/2022	DESIGN DEVELOPMENT ISSUANCE
02/17/2023	PLAN CHECK SUBMISSION

Seal / Signature

NOT FOR CONSTRUCTION

Project Name

9176 SUNSET

Project Number

05.2543.000

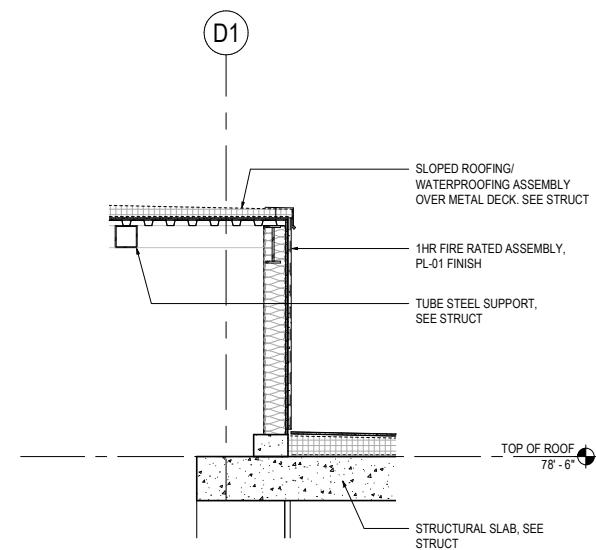
Description

ENLARGED PLAN, RCP, ELEVATIONS
- LEVEL 01 RESTROOMS

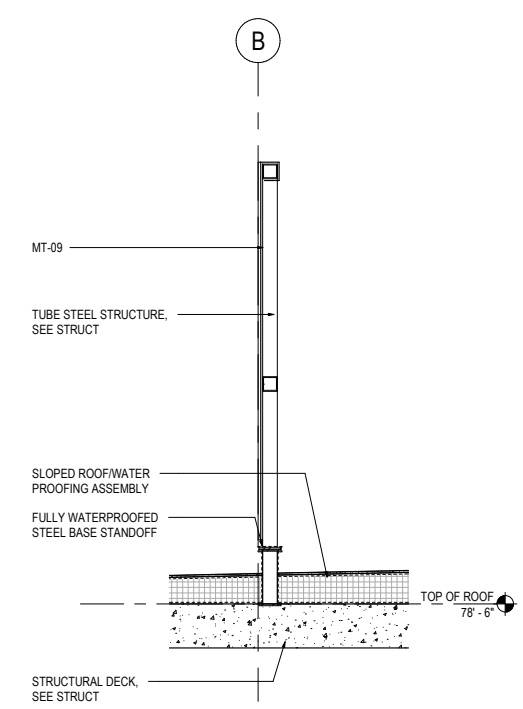
Scale

As indicated

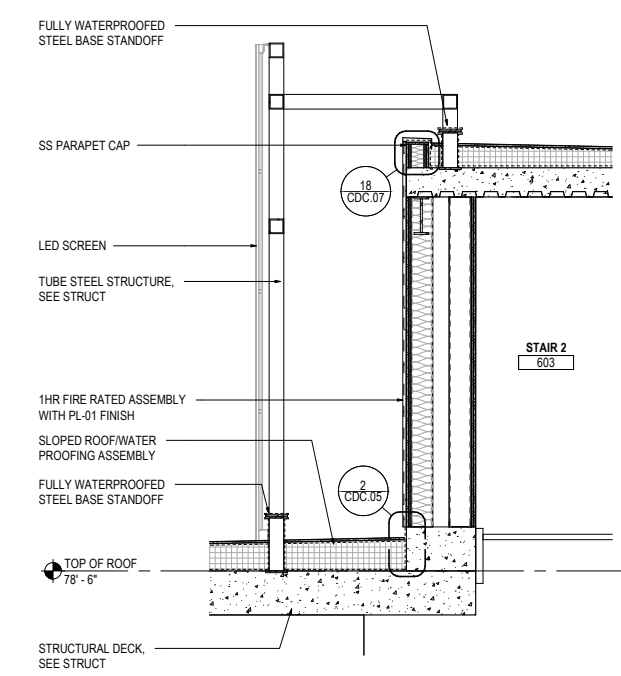
A3.300



2 BUILDING SECTION - ELEVATOR OVERRUN
 1/2" = 1'-0"



3 BUILDING SECTION - PENTHOUSE MECH SCREEN
 1/2" = 1'-0"



1 BUILDING SECTION - LED SCREEN
 1/2" = 1'-0"

Date	Description
12/23/2022	50% CONSTRUCTION DOCUMENTS
02/17/2023	PLAN CHECK SUBMISSION

Seal / Signature

NOT FOR CONSTRUCTION

Project Name

9176 SUNSET

Project Number

05.2543.000

Description

WALL SECTIONS - ROOF

Scale

1/2" = 1'-0"

A4.003

NOTICE TO CONTRACTORS:

- ALL WORK SHALL CONFORM TO THE LATEST EDITION AND SUPPLEMENTS OF THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" (GREENBOOK), AND THE CORRESPONDING ADDITIONS AND AMENDMENTS PER CITY OF WEST HOLLYWOOD.
- ALL WORKS ARE TO BE INSPECTED THROUGH THE CITY OF WEST HOLLYWOOD DEPARTMENT OF BUILDING & SAFETY.
- STANDARD PLANS AND DETAILS FOR THE AMERICAN PUBLIC WORKS ASSOCIATION ARE NOTED IN THESE CONSTRUCTION DOCUMENTS AND ARE INCORPORATED BY REFERENCE.
- ALL RECOMMENDATIONS, MADE BY THE GEOTECHNICAL/SOILS ENGINEER (AND ENGINEER GEOLOGIST, WHERE EMPLOYED), AND CONTAINED IN THE REPORTS REFERENCED HEREON, AS APPROVED OR CONDITIONED BY THE CITY, SHALL BE CONSIDERED A PART OF THIS GRADING PLAN.
- CONTRACTOR SHALL SECURE AND PAY FOR ALL REQUIRED CONSTRUCTION PERMITS.
- THE EXISTING CONDITIONS SHOWN ON THE PLANS WERE OBTAINED FROM AS-BUILT DRAWINGS, FIELD SURVEY, AND DATA PROVIDED BY OWNER. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VISIT THE JOB SITE AND VERIFY THE EXACT EXISTING CONDITIONS BEFORE SUBMITTING BID DOCUMENTS.
- PRIOR TO COMMENCEMENT OF CONSTRUCTION, CONTRACTOR SHALL VERIFY ALL JOIN CONDITIONS FOR GRADING, DRAINAGE AND UTILITY WORK. IF CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE AND PROJECT ENGINEER AND SHALL NOT BEGIN CONSTRUCTION UNTIL THE CHANGED CONDITIONS HAVE BEEN EVALUATED.
- THE EXISTENCE, LOCATION AND CHARACTERISTICS OF UNDERGROUND UTILITY INFORMATION SHOWN ON THESE PLANS HAS BEEN PROVIDED BASED ON PLAYA VISTA HISTORIC DATA AND PROPOSED CONSTRUCTION PLANS. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES.
- THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS, THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
- THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE PLANS, THE SOILS AND/OR GEOLOGY REPORTS, AND THE SITE CONDITIONS PRIOR TO COMMENCING WORK.
- SHOULD CONFLICTING INFORMATION BE FOUND ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AND OWNER'S REPRESENTATIVE BEFORE PROCEEDING WITH THE WORK IN QUESTION.
- THE CONTRACTOR SHALL OBTAIN AN O.S.H.A. PERMIT FROM THE CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO THE CONSTRUCTION OF TRENCHES OR EXCAVATIONS, WHICH ARE 5 FEET OR DEEPER.
- THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF EXCAVATION TO ARRANGE FOR FIELD LOCATION OF UTILITY LINES. CALL 1-800-422-4133 FOR THIS SERVICE. ANY UTILITY NOT SUBSCRIBING TO THIS SERVICE SHALL BE CONTACTED DIRECTLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHETHER ALL UTILITIES HAVE BEEN NOTIFIED.
- PRIOR TO EXERCISING ANY RIGHT OR PERFORMING ANY OBLIGATION PURSUANT TO ANY PERMIT ISSUED BY THE CITY OF WEST HOLLYWOOD, THE CONTRACTOR SHALL OBTAIN, FILE, AND MAINTAIN WITH THE CITY OF WEST HOLLYWOOD A POLICY OF INSURANCE OR CERTIFICATE OF INSURANCE TO COVER ANY AND ALL LIABILITY THAT MAY ARISE FROM THE PERFORMANCE OF ANY WORK PERMITTED BY THE CITY IN THE RIGHT-OF-WAY.
- ALL TRAFFIC CONTROL, BARRICADING, AND CONSTRUCTION SIGNING SHALL BE IN CONFORMANCE WITH THE WORK AREA TRAFFIC CONTROL HANDBOOK (WATCH). DETOUR SIGNS SHALL BE POSTED ON WOOD OR METAL POSTS. SIGNS SHALL NOT BE POSTED ON ANY TREE OR TRAFFIC SIGN.
- NO WATER SHALL BE TAKEN FROM FIRE HYDRANTS WITHOUT APPROVAL FROM THE JURISDICTIONAL WATER AGENCY.
- CONTRACTOR RESPONSIBLE TO PREPARE A TEMPORARY TRAFFIC CONTROL PLAN FOR WORK IN THE PUBLIC RIGHT-OF-WAY.
- STANDARD PLANS USED FOR THIS PROJECT:
 DRIVEWAY..... 110-2
 CURB RAMP..... 111-5
 CURB..... 120-3
 LONGITUDINAL GUTTER..... 122-3
 PARKWAY DRAIN..... 151-3
 CLEANOUT STRUCTURE..... 204-3

AIR QUALITY NOTES:

- MATERIALS SUCH AS OIL-BASED ARCHITECTURAL COATINGS, PAINTS AND ASPHALT USED IN CONSTRUCTION SHALL BE CONTROLLED ACCORDING TO SCAQMD REGULATIONS.
- ALL MATERIALS TAKEN OFF-SITE SHALL BE EITHER SUFFICIENTLY WATERED OR SECURELY COVERED TO PREVENT EXCESSIVE AMOUNTS OF DUST.
- ON-SITE VEHICLE SPEED SHALL BE POSTED AT 15 MILES PER HOUR. STREETS ADJACENT TO THE SITE SHALL BE SWEEP AS NEEDED TO REMOVE SILT WHICH MAY HAVE ACCUMULATED FROM CONSTRUCTION ACTIVITIES.
- ENGINES MUST BE MAINTAINED IN GOOD CONDITION ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- BOTH GRADING AND CONSTRUCTION ACTIVITIES ARE TO BE SCHEDULED TO EVEN OUT EMISSION PEAKS. GRADING OPERATIONS SHALL BE SUSPENDED DURING SECOND STAGE SMOG ALERTS.
- THE SITE SHALL BE FENCED TO REDUCE WIND-BLOWN DUST. CONSTRUCTION MATERIALS NOT STORED BEHIND THE TEMPORARY FENCES SHALL BE COVERED. ALL STORED SOIL AND SAND SHALL BE COVERED OR TREATED WITH SOIL BINDERS.
- ALL UNPAVED DEMOLITION AND CONSTRUCTION AREAS SHALL BE WETTED AT LEAST TWICE DAILY DURING EXCAVATION AND CONSTRUCTION, AND TEMPORARY DUST COVERS SHALL BE USED TO REDUCE DUST EMISSION AND MEET SCAQMD DISTRICT RULE 403. WETTING COULD REDUCE FUGITIVE DUST BY AS MUCH AS 50 PERCENT.
- THE OWNER OR CONTRACTOR SHALL KEEP THE CONSTRUCTION AREA SUFFICIENTLY DAMPENED TO CONTROL DUST CAUSED BY GRADING AND HAULING, AND AT ALL TIMES PROVIDE REASONABLE CONTROL OF DUST CAUSED BY WIND.
- ALL LOADS SHALL BE SECURED BY TRIMMING, WATERING OR OTHER APPROPRIATE MEANS TO PREVENT SPILLAGE AND DUST
- ALL CLEARING, GRADING, EARTH MOVING, OR EXCAVATION ACTIVITIES SHALL BE DISCONTINUED DURING PERIODS OF HIGH WINDS (I.E. GREATER THAN 15 MPH), SO AS TO PREVENT EXCESSIVE AMOUNTS OF DUST.
- GENERAL CONTRACTORS SHALL MAINTAIN AND OPERATE CONSTRUCTION EQUIPMENT SO AS TO MINIMIZE EXHAUST EMISSIONS.

GRADING NOTES:

- GRADING OPERATIONS SHALL BE CONDUCTED IN ACCORDANCE WITH THE CODE OF THE CITY OF WEST HOLLYWOOD AND ALL REVISIONS THERETO.
- A PRE-JOB MEETING WITH THE GRADING INSPECTOR IS REQUIRED PRIOR TO THE START OF GRADING OPERATIONS. SUBSEQUENT INSPECTIONS SHALL BE REQUESTED IN ACCORDANCE WITH THE INSPECTOR'S INSTRUCTIONS.
- EXISTING GROUND UPON WHICH FILL OR BASE IS TO BE PLACED SHALL BE CLEARED OF WEEDS, DEBRIS, TOPSOIL, AND ALL OTHER DELETERIOUS MATERIALS; NO FILL SHALL BE PLACED UNTIL PREPARATION OF THE EXISTING GROUND HAS BEEN APPROVED BY THE SOILS ENGINEER OF RECORD AND BY THE INSPECTOR.
- PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR AND THE OWNER TO PROTECT ADJACENT PROPERTY, PUBLIC AND UTILITIES DURING GRADING OPERATIONS. THE CONTRACTOR ASSUMES ALL LIABILITY FOR THE UNDERGROUND UTILITY PIPES, CONDUITS, OR STRUCTURES, WHETHER SHOWN OR NOT ON THE PLAN.
- WATER CONTENT SHALL BE CONTROLLED AS DETERMINED BY THE SOILS ENGINEER AND THE INSPECTOR.
- UNSUITABLE MATERIAL SHALL BE DISPOSED OF OFF-SITE.
- LOOSE MATERIAL SHALL NOT EXCEED 3" IN DEPTH ON A FILLED SLOPE.
- ALL LOOSE ON-SITE FILL SHALL BE REMOVED AND RECOMPACTED.
- ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
- IMPORT SOILS SHOULD CONSIST OF CLEAN, COMPACTABLE MATERIALS POSSESSING EXPANSION CHARACTERISTICS SIMILAR TO OR BETTER THAN THE ON-SITE SOILS. IMPORT SOILS SHOULD BE FREE OF TRASH, DEBRIS OR OTHER OBJECTIONABLE MATERIAL. CONTRACTOR SHALL NOTIFY THE PROJECT GEOTECHNICAL ENGINEER NOT LESS THAN 72 HOURS IN ADVANCE OF THE LOCATION OF ANY SOILS PROPOSED FOR IMPORT. EACH PROPOSED IMPORT SOURCE SHALL BE SAMPLED, TESTED, AND APPROVED PRIOR TO DELIVERY OF SOILS FOR USE ON THE SITE.
- APPROVAL OF THIS PLAN IS FOR GRADING AND PAVING ON SITE ONLY AND DOES NOT CONSTITUTE APPROVAL OF ANY BUILDING, WALL OR OTHER STRUCTURE SHOWN ON-SITE NOR ANY OFF-SITE IMPROVEMENTS SHOWN.
- NO FILL SHALL BE PLACED DURING UNFAVORABLE WEATHER CONDITIONS. THE SOILS ENGINEER AND GRADING INSPECTOR SHALL VERIFY MOISTURE CONTENT AND DENSITY PRIOR TO PLACEMENT OF ADDITIONAL FILL AFTER HEAVY RAINS.
- ALL FILL SHALL BE COMPACTED TO THE FOLLOWING MINIMUM RELATIVE COMPACTION CRITERIA:
 A. 0% TO 2% WET OF THE OPTIMUM MOISTURE CONTENT, AND COMPACTED TO AT LEAST 95% RELATIVE COMPACTION FOR STRUCTURAL FILL FOR SUPPORT OF PAVEMENT
 B. 90% OF MAXIMUM DRY DENSITY FOR OTHER PERMANENT FILLS, I.E. LANDSCAPING
 THE RELATIVE COMPACTION SHALL BE DETERMINED BY ASTM SOIL COMPACTION TEST D1557-91.
- ALL GRADING SLOPES SHALL BE PLANTED AND SPRINKLERED.
- STANDARD 12-INCH HIGH BERM IS REQUIRED AT TOP OF ALL GRADED SLOPES.
- NO FILL TO BE PLACED, UNTIL THE CITY GRADING INSPECTOR HAS INSPECTED AND APPROVED THE BOTTOM EXCAVATION.
- TEMPORARY EROSION CONTROL TO BE INSTALLED BETWEEN OCTOBER 1ST AND APRIL 15TH. OBTAIN GRADING INSPECTOR'S AND DEPARTMENT OF PUBLIC WORKS APPROVAL OF PROPOSED PROCEDURES.
- ALL PARKING SIDEWALK AND LANDSCAPE AREAS WITH UNCERTIFIED FILL SHALL BE OVEREXCAVATED 24" AND RECOMPACTED PER GEOTECHNICAL RECOMMENDATIONS.

BENCHMARK:

VERTICAL VALUES SHOWN HEREON ARE BASED UPON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) UTILIZING COUNTY OF LOS ANGELES BENCHMARK LISTED BELOW:

BENCHMARK NUMBER : 6Y5272

CUT SPK IN N CB 5' W/O BCR @ NW COR SUNSET BLVD & DOHENY DR 48' W & 34' N/O C/L INT MKD (BM)

ELEVATION : 408.716 FEET
 QUAD YEAR : 2012

BASIS OF BEARINGS:

THE CENTERLINE OF PHYLLIS DRIVE HAVING A BEARING OF NORTH 69°44'40" WEST, AS SHOWN ON RECORD OF SURVEY BOOK 78, PAGE 27, OF MAPS IS SHOWN AS THE RECORD OF SURVEY.

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL A:

LOT 2 OF TRACT NO. 7980, IN THE CITY OF WEST HOLLYWOOD, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 87 PAGES 55 AND 56 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL B:

LOT 1 OF TRACT NO. 4048, IN THE CITY OF WEST HOLLYWOOD, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 73 PAGE 6 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL C:

LOT 1 OF TRACT NO. 7980, IN THE CITY OF WEST HOLLYWOOD, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 87 PAGES 55 AND 56 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, AND THAT PORTION OF CORY AVENUE VACATED BY RESOLUTION RECORDED JANUARY 27, 1971 AS INSTRUMENT NO. 2962 OFFICIAL RECORDS OF SAID COUNTY.

APN: 4340-028-001, 4340-028-002, 4340-028-010

LEGEND:

—————	EXISTING PROPERTY LINE
—————	EXISTING BUILDING OUTLINE
—————	STREET CENTER LINE
—————	EXISTING CURB
—SD—	PROPOSED STORM DRAIN
—B"SS—	PROPOSED SANITARY SEWER
—4"W—	PROPOSED POTABLE WATER
—FW—	PROPOSED FIRE WATER
—CDM—	PROPOSED COMMUNICATION LINE
—G—	PROPOSED GAS LINE
—SD—	PROPOSED SWALE
—SD—	EXISTING STORM DRAIN
—B"SS—	EXISTING SANITARY SEWER
—4"W—	EXISTING POTABLE WATER
—FW—	EXISTING FIRE WATER
—G—	EXISTING GAS LINE
—(18)—	EXISTING CONTOUR
+O+	PROPOSED FIRE HYDRANT
LF	LINEAL FEET
FFE	FINISHED FLOOR ELEVATION
FG	FINISHED GRADE
FL	FLOW LINE
FS	FINISHED SURFACE
HP	HIGH POINT
TG	TOP OF GRATE
INV	INVERT ELEVATION
①	CONSTRUCTION NOTE
BW	BACK OF WALK

⟶ (XXX.XX) FG EXISTING FINISHED GRADE

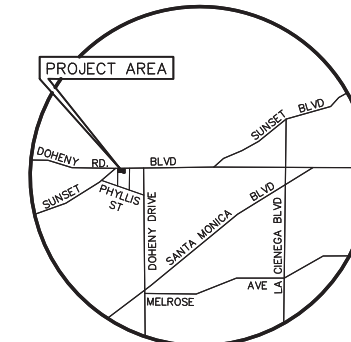
⟶ XXX.XX FG PROPOSED FINISHED GRADE

SOILS ENGINEER/GEOLOGISTS:

GEOTECHNOLOGIES, INC.
 439 WESTERN AVENUE
 GLENDALE, CA 91201-2837
 PHONE: (818) 240-9600 FAX: (818) 240-9675
 CONTACT: EDMOND V. BABAYAN

THESE PLANS HAVE BEEN REVIEWED AND CONFORM TO THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEERING EVALUATION REPORT DATED DECEMBER 14, 2020 AND ALL SUBSEQUENT SUPPLEMENTAL REPORTS AND RESPONSE LETTERS.

INDEX TO SHEETS	
SHT No.	DESCRIPTION
C1.00	TITLE SHEET
C2.00	GRADING PLAN
C2.10	GRADING SECTIONS AND DETAILS
C3.00	UTILITY PLAN
C4.00	LOW IMPACT DEVELOPMENT PLAN
C5.00	HORIZONTAL CONTROL PLAN
C6.00	EROSION CONTROL PLAN



VICINITY MAP
 NOT TO SCALE

PROJECT INFORMATION

PROJECT ADDRESS
 9176 W SUNSET BLVD
 WEST HOLLYWOOD, CA 90069

APN: 4340-028-001, 4340-028-002, 4340-028-010
 THOMAS BROS. GUIDE: 592-G6

CONTACT INFORMATION

LDRL CA 306 LLC
 c/o JEANNE LAZAR
 151 N. FRANKLIN STREET, SUITE 300
 CHICAGO, IL 60600
 PHONE: (312) 441-4131

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 The John Buck Company
 9176 Sunset Blvd
 West Hollywood, CA 90069

Gensler

500 South Figueroa Street
 Los Angeles, California 90071
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 Tel 213.327.3600
 Fax 213.327.3601

Date	Description
02/18/2022	50% DESIGN DEVELOPMENT
04/15/2022	DESIGN DEVELOPMENT ISSUANCE
12/23/2022	50% CONSTRUCTION DOCUMENTS
02/17/2023	PLAN CHECK SUBMISSION

Seal / Signature

NOT FOR CONSTRUCTION

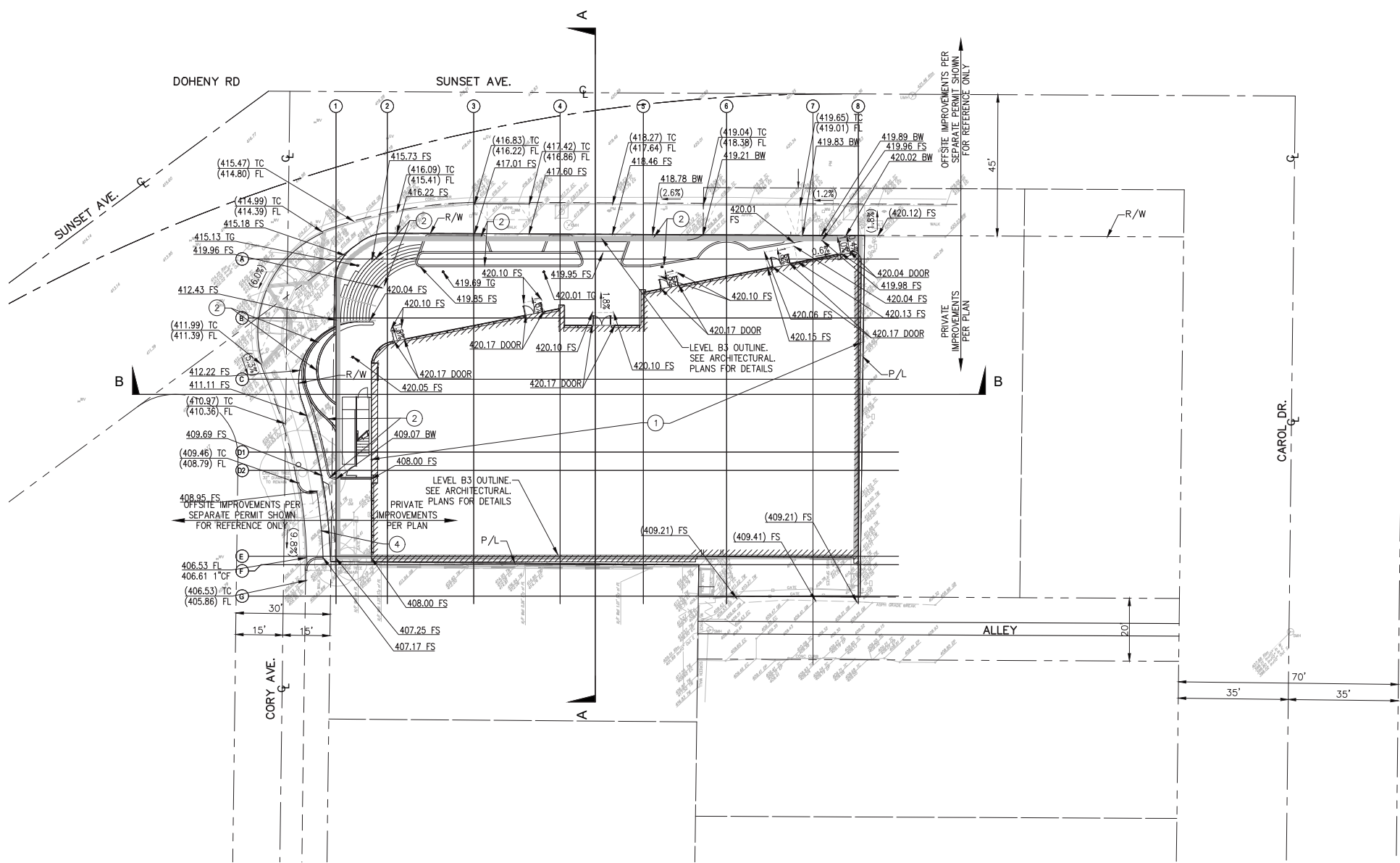
Project Name	9176 SUNSET
Project Number	05.2543.000
Description	TITLE SHEET
Scale	

UNDERGROUND SERVICE ALERT
 CALL THREE WORKING DAYS
 BEFORE YOU DIG:



Know what's below.
 Call before you dig.

C1.00



LEGEND:
 - - - - - PROPOSED RIGHT-OF-WAY
 _____ EXISTING RIGHT-OF-WAY
 _____ EXISTING BUILDING OUTLINE
 _____ PROPOSED BUILDING OUTLINE
 _____ STREET CENTER LINE
 _____ EXISTING CURB

ABBREVIATIONS:
 BW BACK OF SIDEWALK
 FL FLOW LINE
 TC TOP OF CURB
 FFE FINISHED FLOOR ELEVATION
 (100.1) EXISTING ELEVATION
 100.00 PROPOSED ELEVATION
 (XXX.XX) FG EXISTING GRADE
 XXX.XX FG PROPOSED GRADE

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Seal / Signature

NOT FOR CONSTRUCTION

Project Name
 9176 SUNSET

Project Number
 05.2543.000

Description
 GRADING PLAN

Scale
 1" = 20'

C2.00

UNDERGROUND SERVICE ALERT
 CALL THREE WORKING DAYS
 BEFORE YOU DIG.



Know what's below.
 Call before you dig.



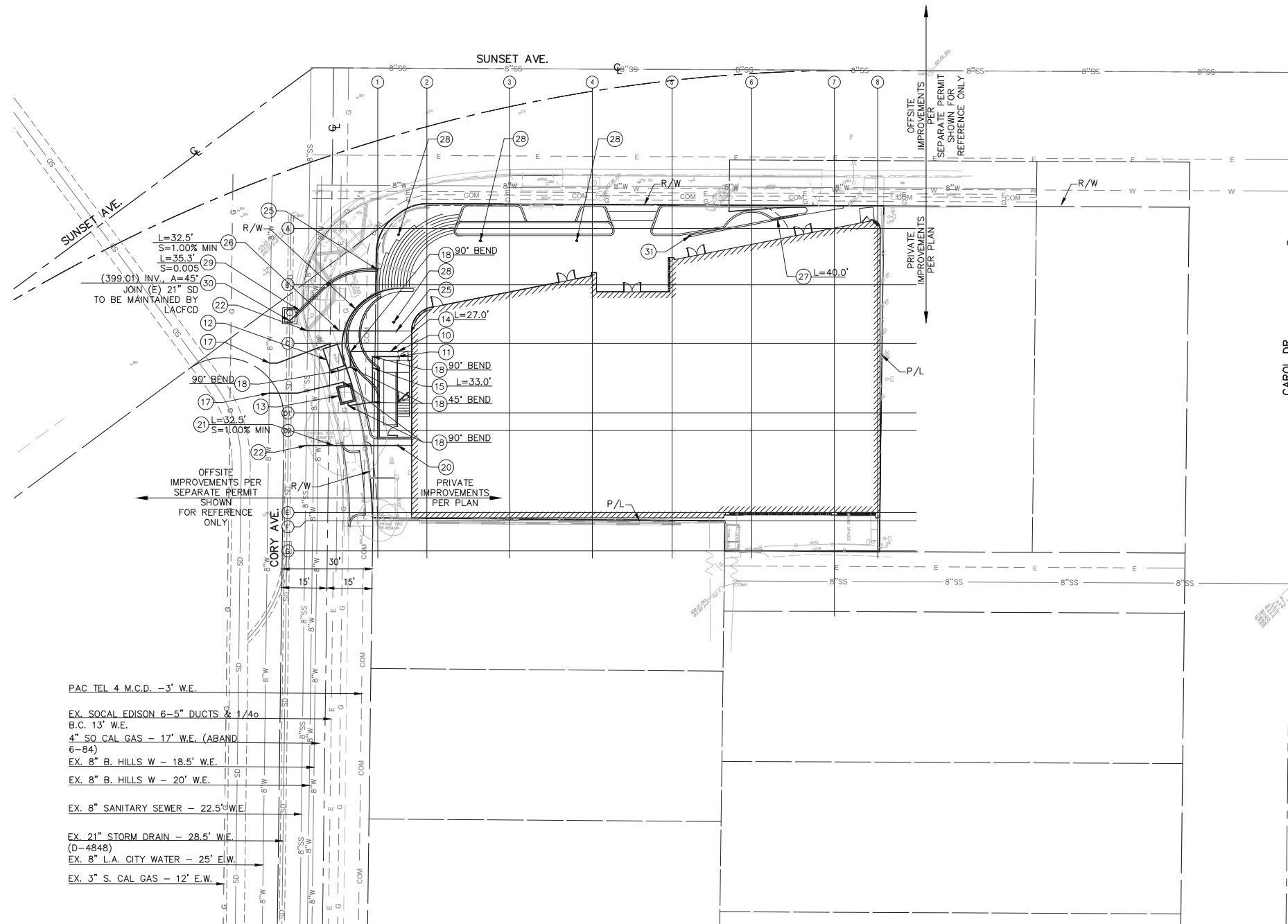
CONSTRUCTION NOTES

- ① PROPOSED BUILDING PER ARCHITECTURAL PLANS
- ② SEE LANDSCAPE PLAN FOR HARDSCAPE AND PLANTING DETAILS
- ③ EXISTING CATCH BASIN TO REMAIN IN PLACE
- ④ CONSTRUCT DRIVEWAY PER SEPARATE PERMIT

ESTIMATED EARTHWORK QUANTITIES:

CUT:	21,300 C.Y.
10% BULKING FACTOR:	2,130 C.Y.
7% CONTINGENCY:	1,640 C.Y.
*TOTAL EXPORT=	25,000 C.Y.

THE ABOVE LISTED QUANTITIES REFLECT THE ENGINEER'S ESTIMATE OF THE EARTHWORK VOLUMES.
 A 10% BULKING FACTOR IS ASSUMED.
 *THE TOTAL EXPORT VOLUME INCLUDES A 7% CONTINGENCY FACTOR.
 THESE QUANTITIES ARE FOR DESIGN AND BONDING PURPOSES ONLY, AND NOT FOR CONTRACT PURPOSES.
 THE CONTRACTOR IS RESPONSIBLE FOR COMPUTING HIS OWN QUANTITIES.



LEGEND:

- PROPOSED RIGHT-OF-WAY
- EXISTING RIGHT-OF-WAY
- EXISTING BUILDING OUTLINE
- PROPOSED BUILDING OUTLINE
- STREET CENTER LINE
- EXISTING CURB
- 8"SS PROPOSED SANITARY SEWER
- 4"W PROPOSED POTABLE WATER
- 6"FW PROPOSED FIRE WATER
- SD PROPOSED STORM DRAIN
- 8"SS EXISTING SANITARY SEWER
- 8"W EXISTING POTABLE WATER
- G EXISTING GAS LINE
- COM EXISTING COMMUNICATION LINE
- E EXISTING ELECTRIC LINE

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Date	Description
02/18/2022	50% DESIGN DEVELOPMENT
04/15/2022	DESIGN DEVELOPMENT ISSUANCE
12/23/2022	50% CONSTRUCTION DOCUMENTS
02/17/2023	PLAN CHECK SUBMISSION

Seal / Signature

**NOT FOR
 CONSTRUCTION**

Project Name
 9176 SUNSET

Project Number
 05.2543.000

Description
 UTILITY PLAN

Scale
 1" = 20'

C3.00

WATER CONSTRUCTION NOTES:

- 10 JOIN DOMESTIC WATER STUB-OUT PER PLUMBING PLAN.
- 11 JOIN FIRE WATER STUB-OUT PER PLUMBING PLAN.
- 12 3" EQ. DOMESTIC WATER METER AND SERVICE CONNECTION TO STREET TO BE INSTALLED BY LADWP PER SEPARATE PERMIT.
- 13 6" FIRE WATER METER AND SERVICE CONNECTION TO STREET TO BE INSTALLED BY LADWP PER SEPARATE PERMIT.
- 14 INSTALL 4" D.I. DOMESTIC WATER PIPE. LENGTH PER PLAN.
- 15 INSTALL 6" C-900 CLASS 150 P.V.C. FIRE WATER PIPE. LENGTH PER PLAN.
- 16 INSTALL FIRE WATER REDUCED PRESSURE BACK FLOW PREVENTER.
- 17 CONNECT TO EXISTING 8" WATER LINE.
- 18 INSTALL BEND, ANGLE PER PLAN. MATERIAL TYPE PER ADJACENT PIPES.

SEWER CONSTRUCTION NOTES:

- 20 CONNECT SEWER STUB-OUT PER PLUMBING PLAN.
- 21 CONSTRUCT 8" SEWER PIPE. LENGTH AND SLOPE PER PLAN.
- 22 CONNECT TO EXISTING 8" SEWER.

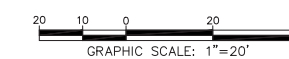
STORM DRAIN CONSTRUCTION NOTES:

- 25 JOIN STORM DRAIN STUB-OUT PER PLUMBING PLAN.
- 26 CONSTRUCT 8" PVC STORM DRAIN LINE PER PLAN.
- 27 INSTALL 6" WIDE TRENCH DRAIN WITH HEELPROOF LID.
- 28 INSTALL AREA DRAIN. PLUMBING POINT OF CONNECTION. SEE PLUMBING PLAN FOR CONTINUATION
- 29 INSTALL 12" REINFORCED CONCRETE PIPE (RCP) PER SEPARATE PLANS.
- 30 CONSTRUCT PIPE-TO-PIPE JUNCTION STRUCTURE PER SPPWC 321-2.AND PER SEPARATE PLANS.
- 31 PLUMBING POINT OF CONNECTION.

UNDERGROUND SERVICE ALERT
 CALL THREE WORKING DAYS
 BEFORE YOU DIG.






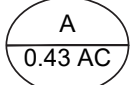

Know what's below.
 Call before you dig.



JBC
 The John Buck Company
 9176 Sunset Blvd
 West Hollywood, CA 90069

Gensler
 500 South Figueroa Street
 Los Angeles, California 90071
 United States
 Tel: 213.327.3600
 Fax: 213.327.3601

LEGEND / HYDROLOGIC DATA:

-  PROPERTY LINE
-  DRAINAGE AREA BOUNDARY
-  FLOW PATH
-  AREA DESIGNATION AND ACREAGE
-  LANDSCAPE AREA

GENERAL NOTES:

1. STENCIL AT ALL DRAINAGE INLETS (I.E. CATCH BASINS, TRENCH DRAINS). STENCIL PER DETAIL 1 HEREON.



DETAIL 1: DRAINAGE INLET STENCIL
 NOT TO SCALE

CONSTRUCTION NOTES

- ① UNCOVERED LANDSCAPE AREA PER LANDSCAPE PLANS.
- ② WATER PROOF RETENTION ROOM IN BASEMENT LEVEL 3 PER ARCHITECT PLAN.
- ③ CONTROL PANEL AND IRRIGATION PUMP LOCATION AND DESIGN PER PLUMBING PLANS.
- ④ CITY MAKE-UP SUPPLY LINE FINAL ROUTING PER LANDSCAPE AND PLUMBING PLANS.
- ⑤ IRRIGATION WATER SUPPLY LINE TO IRRIGATION SYSTEM.
- ⑥ 3-WAY VALVE LOCATION AND DESIGN PER PLUMBING PLANS.
- ⑦ OVERFLOW ROUTING PER PLUMBING PLAN FOR SCHEMATIC PURPOSES.

Date	Description
02/18/2022	50% DESIGN DEVELOPMENT
04/15/2022	DESIGN DEVELOPMENT ISSUANCE
12/23/2022	50% CONSTRUCTION DOCUMENTS
02/17/2023	PLAN CHECK SUBMISSION

Seal / Signature

**NOT FOR
 CONSTRUCTION**

Project Name
 9176 SUNSET

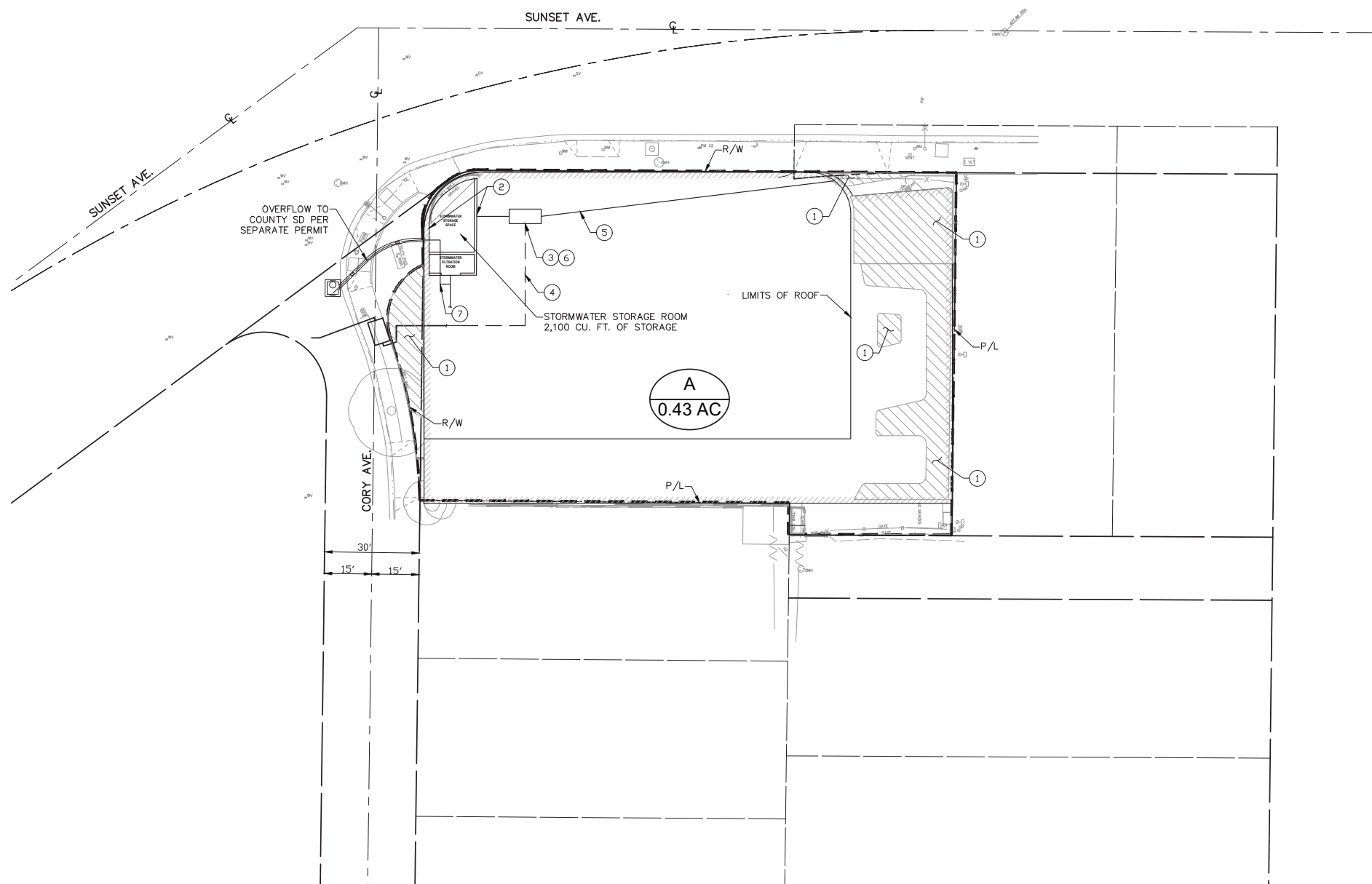
Project Number
 05.2543.000

Description
 LOW IMPACT DEVELOPMENT
 PLAN

Scale
 1"=20'

C4.00

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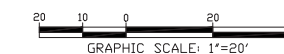
BMP TREATMENT SUMMARY

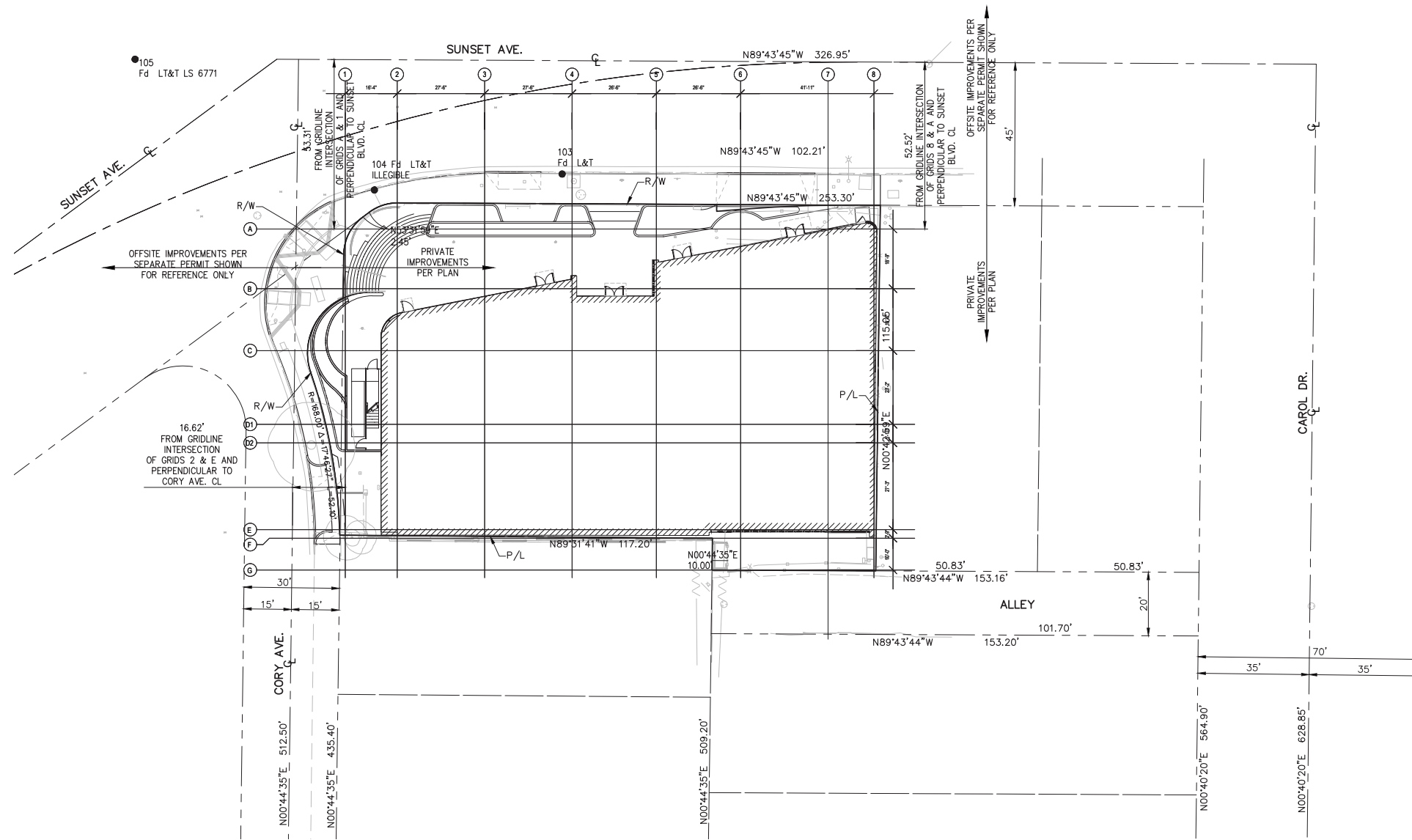
SUB-AREA	TOTAL AREA (ACRES)	IMPERVIOUS AREA DESCRIPTION	IMPERVIOUS AREA (ACRES)	BMP TYPE	90TH PERCENTILE DESIGN CAPTURE VOLUME DCV (FT ³)	
					REQUIRED	AVAILABLE
AREA A	0.43	ROOF / AMENITY TERRACE HARDSCAPE	0.39	CAPTURE AND USE	2,050 CU.FT.	2,055 CU.FT.
TOTAL	0.43	ROOF / AMENITY TERRACE HARDSCAPE	0.39	CAPTURE AND USE	2,050 CU.FT.	2,055 CU.FT.

UNDERGROUND SERVICE ALERT
 CALL THREE WORKING DAYS
 BEFORE YOU DIG.



Know what's below.
 Call before you dig.





- LEGEND:**
- PROPOSED RIGHT-OF-WAY
 - EXISTING RIGHT-OF-WAY
 - EXISTING BUILDING OUTLINE
 - PROPOSED BUILDING OUTLINE
 - STREET CENTER LINE
 - EXISTING CURB

BASIS OF BEARING

THE CENTERLINE OF PHYLLIS DRIVE HAVING A BEARING OF NORTH $69^{\circ}44'40''$ WEST, AS SHOWN ON RECORD OF SURVEY BOOK 78, PAGE 27, OF MAPS IS SHOWN AS THE RECORD OF SURVEY.

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Seal / Signature

NOT FOR CONSTRUCTION

Project Name
 9176 SUNSET

Project Number
 05.2543.000

Description
 HORIZONTAL CONTROL PLAN

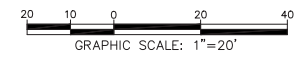
Scale
 1" = 20'

C5.00

UNDERGROUND SERVICE ALERT
 CALL THREE WORKING DAYS
 BEFORE YOU DIG.



Know what's below.
 Call before you dig.



TOTAL PROJECT AREA:

0.47 ACRES

BEST MANAGEMENT PRACTICES FOR CONSTRUCTION ACTIVITIES*

*DETAILED IN THE CALIFORNIA STORM WATER BEST MANAGEMENT PRACTICES HANDBOOK – CONSTRUCTION, DECEMBER 2019

EROSION CONTROL

EC-1 SCHEDULING

SEDIMENT CONTROL

- SE-1 SILT FENCE
- SE-6 GRAVEL BAG BERM
- SE-7 STREET SWEEPING AND VACUUMING
- SE-10 STORM DRAIN INLET PROTECTION

TRACKING CONTROL

TC-1 STABILIZED CONSTRUCTION ENTRANCE/EXIT

WIND EROSION CONTROL

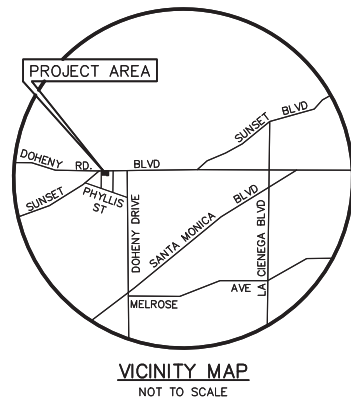
WE-1 WIND EROSION CONTROL

NON-STORM WATER CONTROL

- NS-1 WATER CONSERVATION PRACTICES
- NS-3 PAVING AND GRINDING OPERATIONS
- NS-6 ILLICIT CONNECTION/ILLEGAL DISCHARGE DETECTION AND REPORTING
- NS-8 VEHICLE AND EQUIPMENT CLEANING
- NS-9 VEHICLE AND EQUIPMENT FUELING
- NS-10 VEHICLE AND EQUIPMENT MAINTENANCE
- NS-11 PILE DRIVING OPERATION

WASTE MANAGEMENT AND MATERIALS POLLUTION CONTROL

- WM-1 MATERIAL DELIVERY AND STORAGE
- WM-2 MATERIAL USE
- WM-3 STOCKPILE MANAGEMENT
- WM-4 SPILL AND PREVENTION CONTROL
- WM-5 SOLID WASTE MANAGEMENT
- WM-6 HAZARDOUS WASTE MANAGEMENT
- WM-8 CONCRETE WASTE MANAGEMENT
- WM-9 SANITARY/SEPTIC WASTE MANAGEMENT
- WM-10 LIQUID WASTE MANAGEMENT



LEGEND:

	EXISTING PROPERTY LINE
	FIRE HYDRANT
	ASPHALT CONCRETE
	BACK OF WALK
	CURB DRAIN
	FIELD CENTERLINE
	DRAIN INLET
	EDGE OF GUTTER
	EDGE OF PAVEMENT
	FINISHED FLOOR
	FINISHED GRADE
	FINISHED SURFACE
	FLOW LINE
	GRADE BREAK
	HIGH POINT
	INVERT ELEVATION
	LIMIT OF WORK
	TOP OF CURB
	TOP OF GRATE
	EXISTING GRADE
	PROPOSED GRADE
	FLOW DIRECTION
	SAND BAGS
	SILT FENCE

SECTION 2 OF THE CASQA BMP CONSTRUCTION HANDBOOK, DECEMBER 2019, IS PART OF THESE EROSION CONTROL PLANS, INCLUDING BUT NOT LIMITED TO:

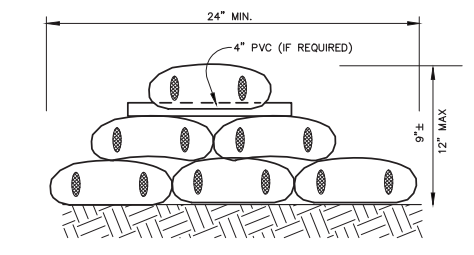
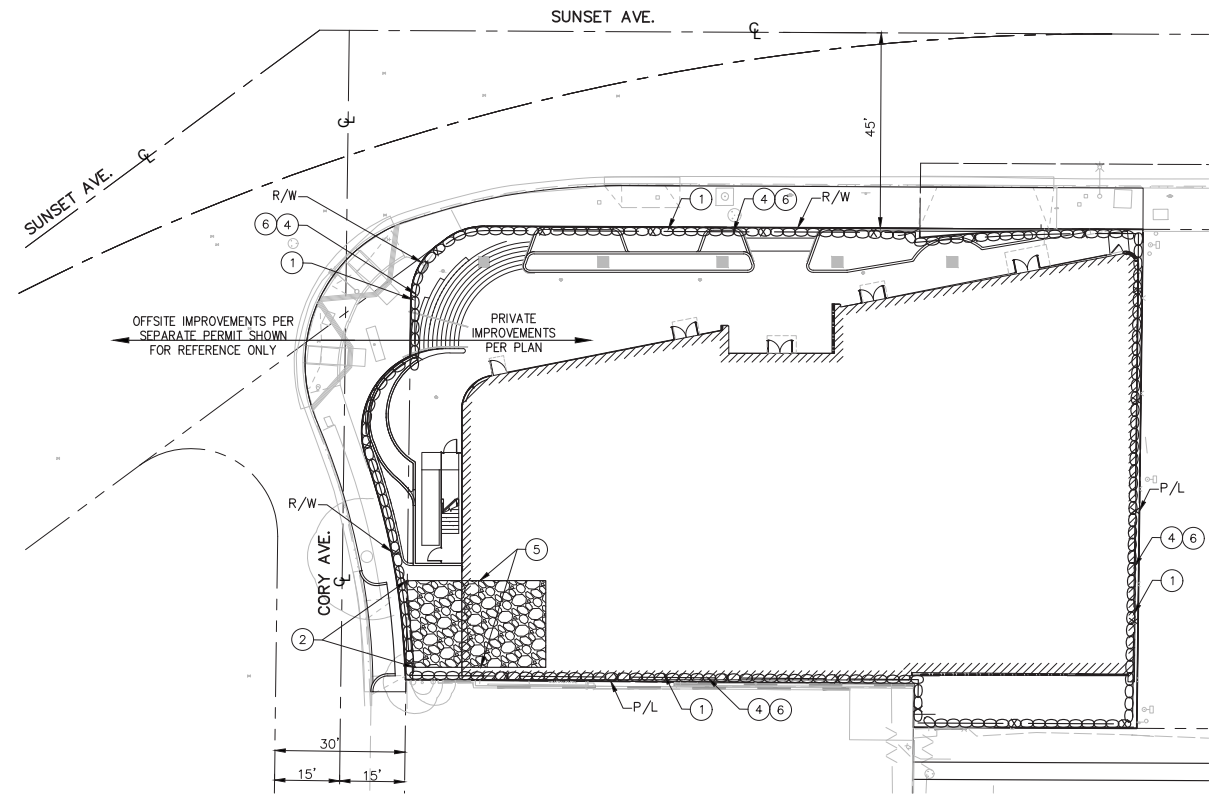
- MINIMUM REQUIREMENTS
- GOOD HOUSEKEEPING PRACTICES
- STAFF TRAINING
- SITE INSPECTIONS
- BMP MONITORING AND MAINTENANCE
- STORMWATER POLLUTION CONTROL DOCUMENTATION

TYPICAL CONSTRUCTION NOTES:

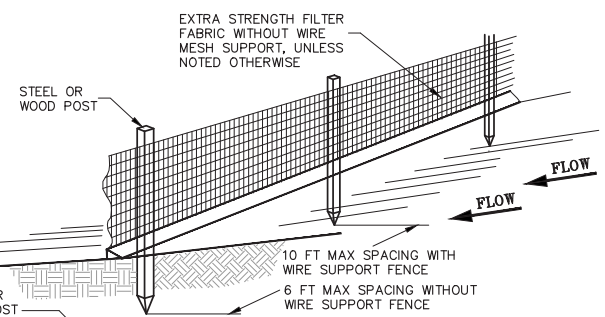
1. IN CASE OF EMERGENCY, CALL _____ AT _____
2. A STAND-BY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (NOVEMBER 1 TO APRIL 15). NECESSARY MATERIALS SHALL BE AVAILABLE ON-SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF EMERGENCY DEVICES WHEN RAIN IS IMMINENT.
3. EROSION CONTROL DEVICES SHOWN ON THE PLAN MAY BE REMOVED WHEN APPROVED BY THE BUILDING OFFICIAL IF THE DEMOLITION OPERATION HAS PROGRESSED TO THE POINT WHERE THEY ARE NO LONGER REQUIRED.
4. ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL DEVICES WITHIN 24 HOURS AFTER EACH RAINSTORM AND BE DISPOSED OF PROPERLY.
5. A GUARD SHALL BE POSTED ON THE SITE WHENEVER THE DEPTH OF WATER IN ANY DEVICE EXCEEDS TWO FEET. THE DEVICE SHALL BE DRAINED OR PUMPED WITHIN 24 HOURS AFTER EACH RAINSTORM. PUMPING AND DRAINING OF ALL BASINS AND DRAINAGE DEVICES MUST COMPLY WITH THE APPROPRIATE BMP FOR DEWATERING OPERATIONS.
6. THE PLACEMENT OF ADDITIONAL DEVICES TO CONTAIN POLLUTANTS WITHIN THE SITE IS LEFT TO THE DISCRETION OF THE FIELD ENGINEER. ADDITIONAL DEVICES AS NEEDED SHALL BE INSTALLED TO RETAIN SEDIMENTS AND OTHER POLLUTANTS ON SITE.
7. STORM WATER POLLUTION DEVICES ARE TO BE MODIFIED, AS NEEDED, AS THE PROJECT PROGRESSES, THE DESIGN AND PLACEMENT OF THESE DEVICES IS THE RESPONSIBILITY OF THE FIELD ENGINEER. PLANS REPRESENTING CHANGES MUST BE SUBMITTED FOR APPROVAL IS REQUESTED BY THE BUILDING OFFICIAL.
8. EVERY EFFORT SHOULD BE MADE TO ELIMINATE THE DISCHARGE OF NON-STORM WATER FROM THE PROJECT SITE AT ALL TIMES.
9. POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA PUMPS, SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES, OR WIND.
10. STOCKPILES OF CONSTRUCTION-RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
11. FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOILS AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
12. CONTRACTORS ARE RESPONSIBLE TO INSPECT THAT ALL BMPS ARE INSTALLED AND FUNCTIONING PROPERLY IF THERE IS A 50% CHANCE OF 0.50 INCHES OR GREATER OF PREDICTED PRECIPITATION, AND AFTER ACTUAL PRECIPITATION. A CONSTRUCTION SITE INSPECTION CHECKLIST AND INSPECTION LOG SHALL BE MAINTAINED AT THE PROJECT SITE AT ALL TIMES AND AVAILABLE FOR REVIEW BY THE BUILDING OFFICIAL (COPIES OF THE SELF-INSPECTION CHECK LIST AND INSPECTION LOGS ARE AVAILABLE UPON REQUEST).
13. TRASH AND CONSTRUCTION-RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
14. MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
15. AS THE ARCHITECT/ENGINEER OF RECORD, I HAVE SELECTED APPROPRIATE BMPS TO EFFECTIVELY MINIMIZE THE NEGATIVE IMPACTS OF THIS PROJECT'S CONSTRUCTION ACTIVITIES OF STORM WATER QUALITY. THE PROJECT OWNER AND CONTRACTOR ARE AWARE THAT THE SELECTED BMPS MUST BE INSTALLED, MONITORED, AND MAINTAINED TO ENSURE THEIR EFFECTIVENESS. THE BMPS ARE NOT SELECTED FOR IMPLEMENTATION ARE REDUNDANT OR DEEMED NOT APPLICABLE TO THE PROPOSED CONSTRUCTION ACTIVITY.
16. CONTRACTOR TO USE OFFSITE OFFICES.

AIR QUALITY/EROSION CONTROL NOTES:

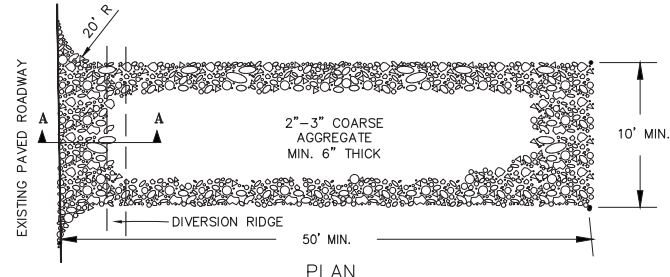
1. THE CONTRACTOR SHALL PROVIDE REGULAR GROUND WETTING OF GRADED AREAS A MINIMUM OF TWICE DAILY DURING CONSTRUCTION TO CONTROL FUGITIVE DUST EMISSIONS. THE FREQUENCY OF GROUND WETTING SHALL BE INCREASED TO A MINIMUM OF ONCE EVERY TWO HOURS WHEN WIND SPEED EXCEEDS 15 MPH, AVERAGED OVER ONE(1) HOUR, UNLESS OTHERWISE DIRECTED BY THE CITY'S INSPECTOR. PLEASE REFER TO SECTION WE-1 OF THE CALIFORNIA STORMWATER BMP HANDBOOK (DATED JAN 2003) FOR FURTHER INFORMATION ON WIND EROSION CONTROL (ALSO ATTACHED IN THE SWPPP EROSION CONTROL PLAN)
2. THE CONTRACTOR SHALL CEASE ALL CLEARING AND GRADING ACTIVITIES DURING PERIODS OF HIGH WINDS (GREATER THAN 20 MILES PER HOUR, AVERAGED OVER ONE(1) HOUR) TO PREVENT EXCESSIVE AMOUNTS OF FUGITIVE DUST.
3. THE CONTRACTOR SHALL SEED AND IRRIGATE ALL PORTIONS OF CONSTRUCTION SITES THAT ARE PLANNED TO BE INACTIVE FOR GREATER THAN 90 DAYS IN ORDER TO ESTABLISH A VEGETATIVE COVER, OR CHEMICAL SOIL AMENDMENTS SHALL BE ADDED TO THE SOIL SURFACE TO MINIMIZE WIND EROSION AND DUST.
4. THE CONTRACTOR SHALL WET SILT CONTAINING MATERIAL EXCAVATED, STOCKPILED OR TRANSPORTED DURING CONSTRUCTION AT LEAST TWICE EACH DAY.
5. THE CONTRACTOR SHALL LIMIT ON-SITE CONSTRUCTION VEHICLE SPEED TO 15 MILES PER HOUR IN UNPAVED AREAS.
6. THE CONTRACTOR SHALL CAUSE TRUCKS TRANSPORTING EARTH MATERIAL OFF-SITE TO COMPLY WITH STATE VEHICLE CODE SECTION 23114, WITH SPECIAL ATTENTION TO SECTION 23114 (B)(F), AND (E)(4), AS AMENDED.
7. THE CONTRACTOR SHALL HAVE ROADWAYS, SIDEWALKS AND ALLEYS ADJACENT TO THE PROJECT SITE AND ACCESS POINTS TO BE SWEEPED AT THE END OF EACH DAY TO REMOVED ACCUMULATED SILT.
8. THE CONTRACTOR SHALL REDUCE THE RISK OF VALLEY FEVER INFECTION BY OFFERING FACE MASK TO ALL PERSONS INVOLVED IN GROUND DISTURBING OPERATIONS.
9. THE CONTRACTOR SHALL SECURE CONSTRUCTION EQUIPMENT, TOOLS, AND MATERIALS BY LOCKING OR PLACING THEM WITHIN LOCKED SHEDS AND/OR OTHER SECURE AREAS WHILE NOT IN USE.



GRAVEL BAG BERM DETAIL
NOT TO SCALE
SEE CA STORMWATER BMP HANDBOOK SE-6



SILT FENCE DETAIL
NOT TO SCALE



SECTION A - A
EXISTING PAVED ROADWAY DIVERSION RIDGE REQUIRED WHERE GRADE EXCEEDS 2% OR GREATER
2"-3" COARSE AGGREGATE MIN. 6" THICK
10' MIN.
50' MIN.
DIVERSION RIDGE
FILTER FABRIC

- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS- OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 3. CONSTRUCT RUMBLE RACKS FROM STEEL PLATES TO HELP REMOVE ADDITIONAL SEDIMENT.

STABILIZED CONSTRUCTION ENTRANCE/EXIT TC-1
NOT TO SCALE

UNDERGROUND SERVICE ALERT
CALL THREE WORKING DAYS
BEFORE YOU DIG.

Know what's below.
Call before you dig.

20 0 20 40
GRAPHIC SCALE: 1"=20'

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Fax 213.327.3601

Date	Description
02/18/2022	50% DESIGN DEVELOPMENT
04/15/2022	DESIGN DEVELOPMENT ISSUANCE
12/23/2022	50% CONSTRUCTION DOCUMENTS
02/17/2023	PLAN CHECK SUBMISSION

Seal / Signature

NOT FOR CONSTRUCTION

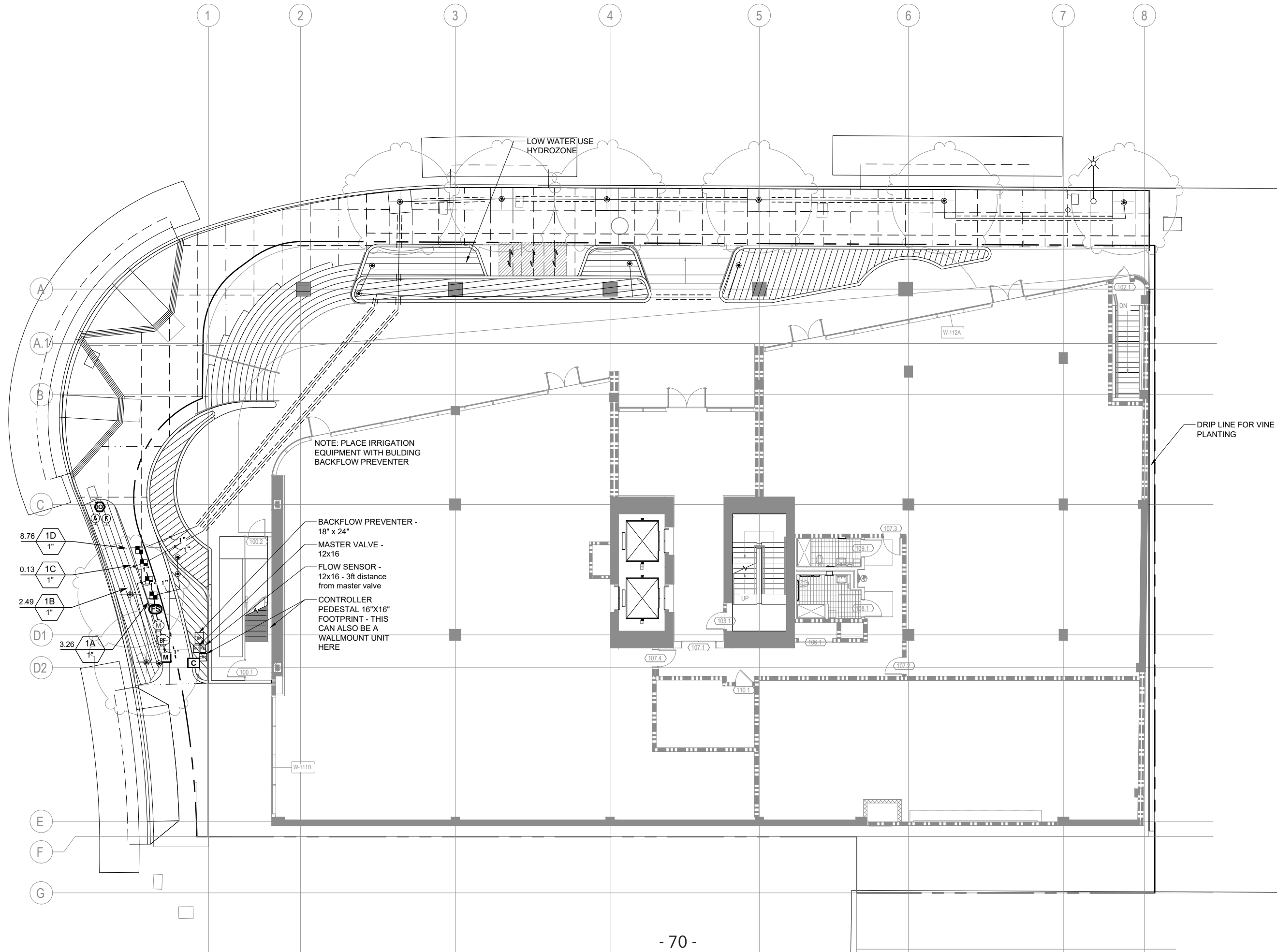
Project Name
9176 SUNSET

Project Number
05.2543.000

Description
EROSION CONTROL PLAN

Scale
1" = 20'

C6.00



Date	Description
03/12/2021	SCHEMATIC DESIGN ISSUANCE
02/18/2022	50% DESIGN DEVELOPMENT
04/01/2022	100% DESIGN DEVELOPMENT
12/07/2022	50% CONSTRUCTION DOCUMENTS
02/17/2023	PLAN CHECK SUBMISSION

Seal / Signature

NOT FOR CONSTRUCTION

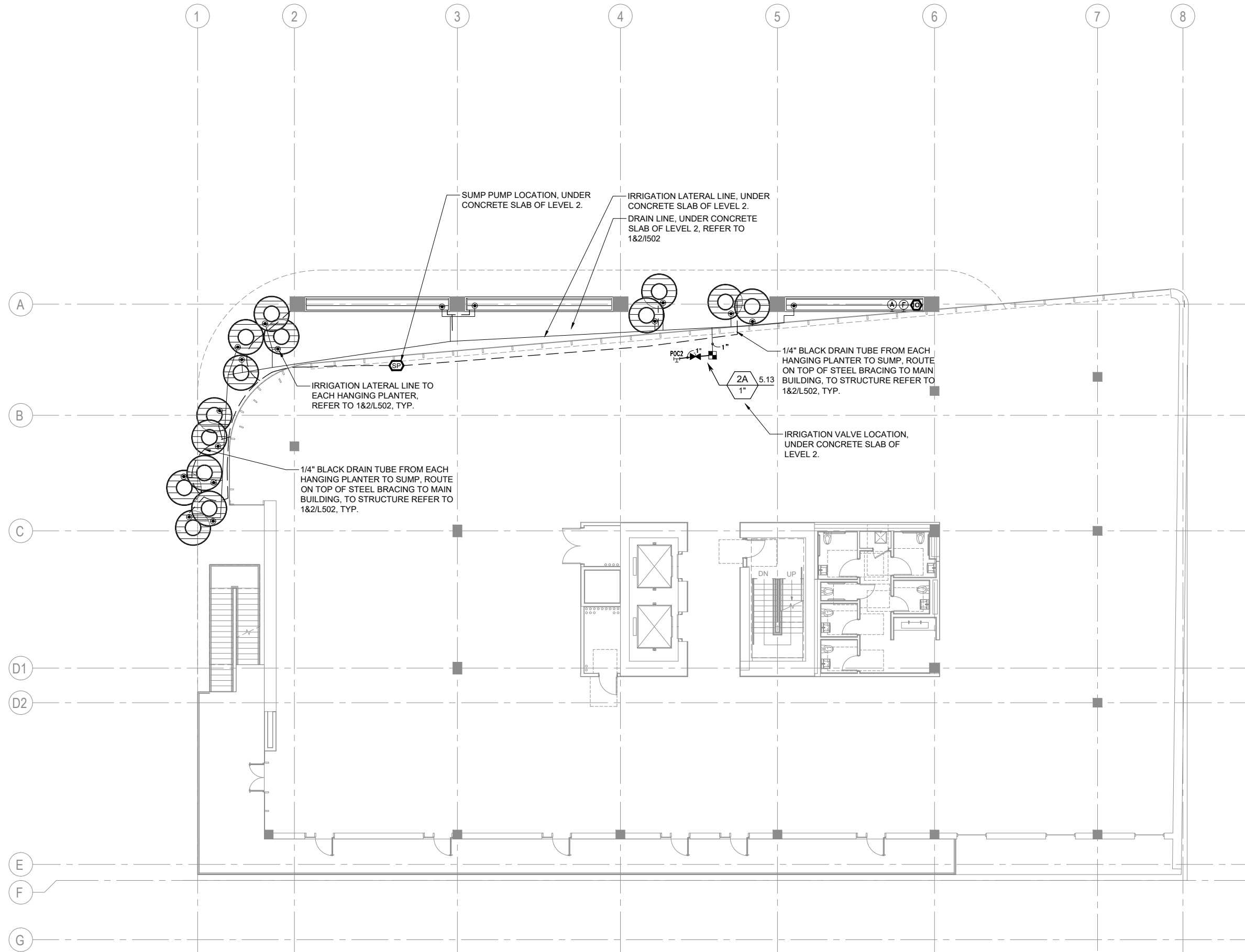
Project Name
 Sunset Jewel Box

Project Number
 05.2543.000

Description
 IRRIGATION PLAN - LEVEL 01

Scale
 1/8" = 1'-0"

L7.03



Date	Description
03/12/2021	SCHEMATIC DESIGN ISSUANCE
02/18/2022	50% DESIGN DEVELOPMENT
04/01/2022	100% DESIGN DEVELOPMENT
12/07/2022	50% CONSTRUCTION DOCUMENTS
02/17/2023	PLAN CHECK SUBMISSION

Seal / Signature

NOT FOR CONSTRUCTION

Project Name

Sunset Jewel Box

Project Number

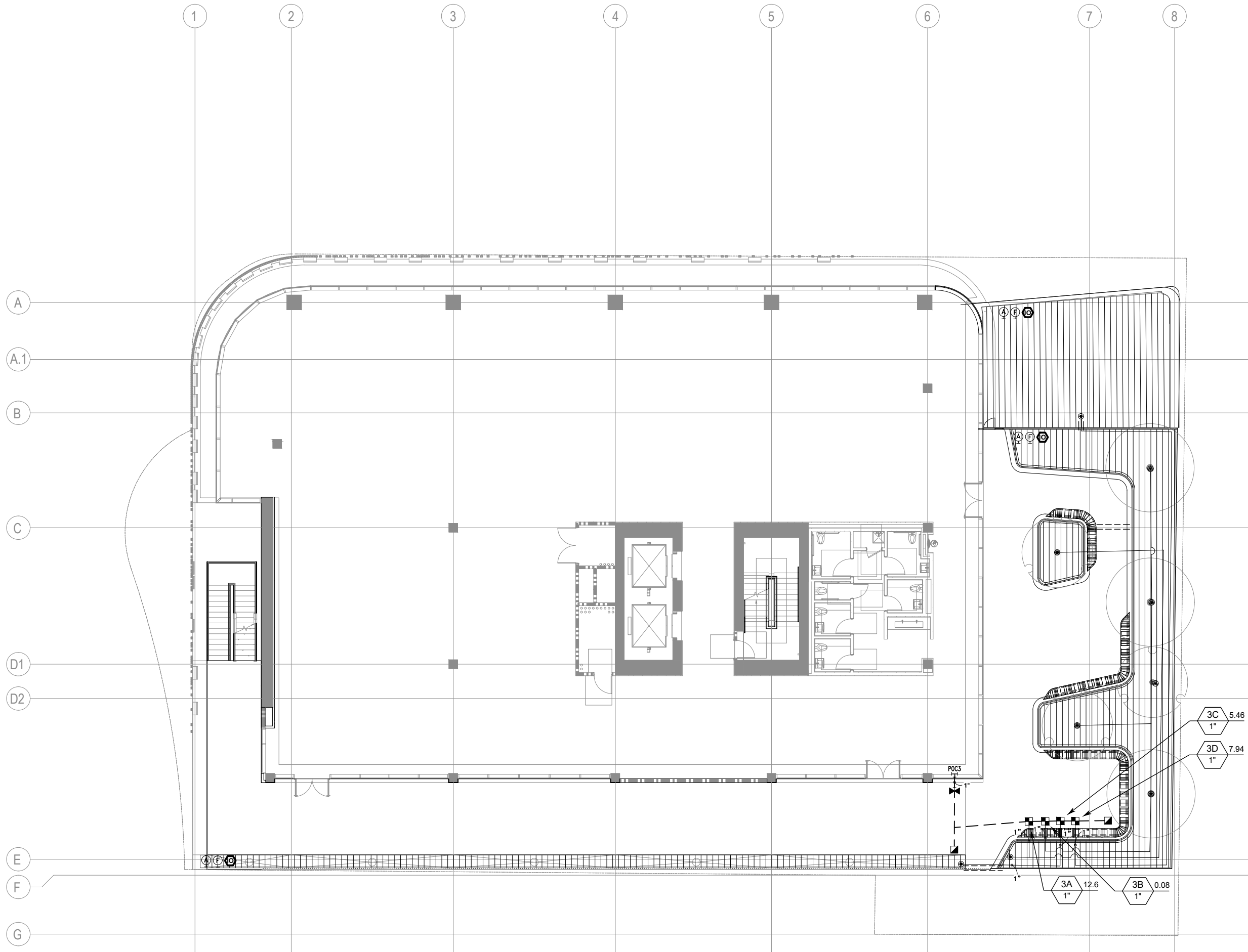
05.2543.000

Description

IRRIGATION PLAN - LEVEL 02
 HANGING PLANTERS

Scale

1/8" = 1'-0"



Date	Description
03/12/2021	SCHEMATIC DESIGN ISSUANCE
02/18/2022	50% DESIGN DEVELOPMENT
04/01/2022	100% DESIGN DEVELOPMENT
12/07/2022	50% CONSTRUCTION DOCUMENTS
02/17/2023	PLAN CHECK SUBMISSION

Seal / Signature

**NOT FOR
 CONSTRUCTION**

Project Name

Sunset Jewel Box

Project Number

05.2543.000

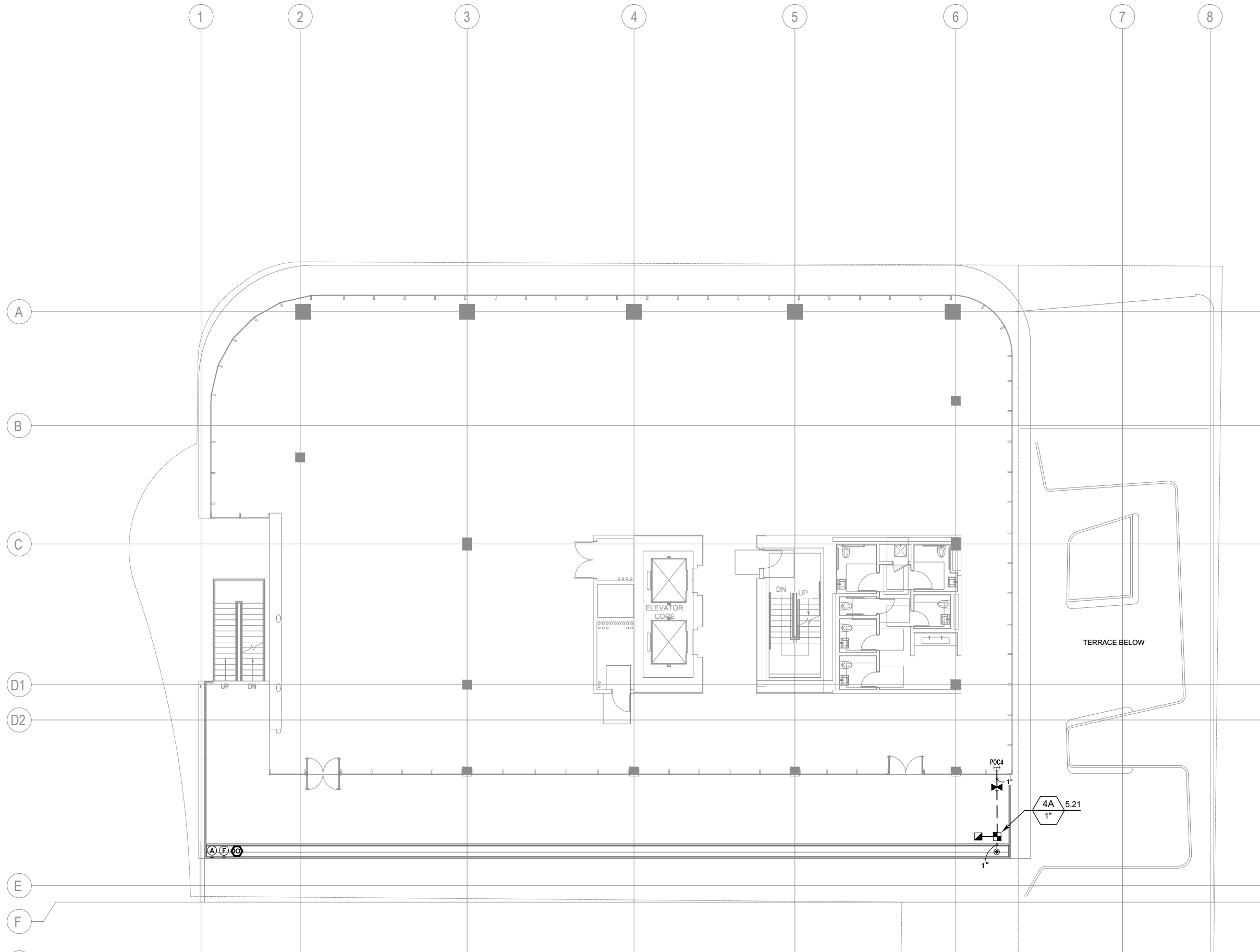
Description

IRRIGATION PLAN - LEVEL 03

Scale

1/8" = 1'-0"

L7.05



△ Date	Description
03/12/2021	SCHEMATIC DESIGN ISSUANCE
02/18/2022	50% DESIGN DEVELOPMENT
04/01/2022	100% DESIGN DEVELOPMENT
12/07/2022	50% CONSTRUCTION DOCUMENTS
02/17/2023	PLAN CHECK SUBMISSION

Seal / Signature

**NOT FOR
 CONSTRUCTION**

Project Name

Sunset Jewel Box

Project Number

05.2543.000

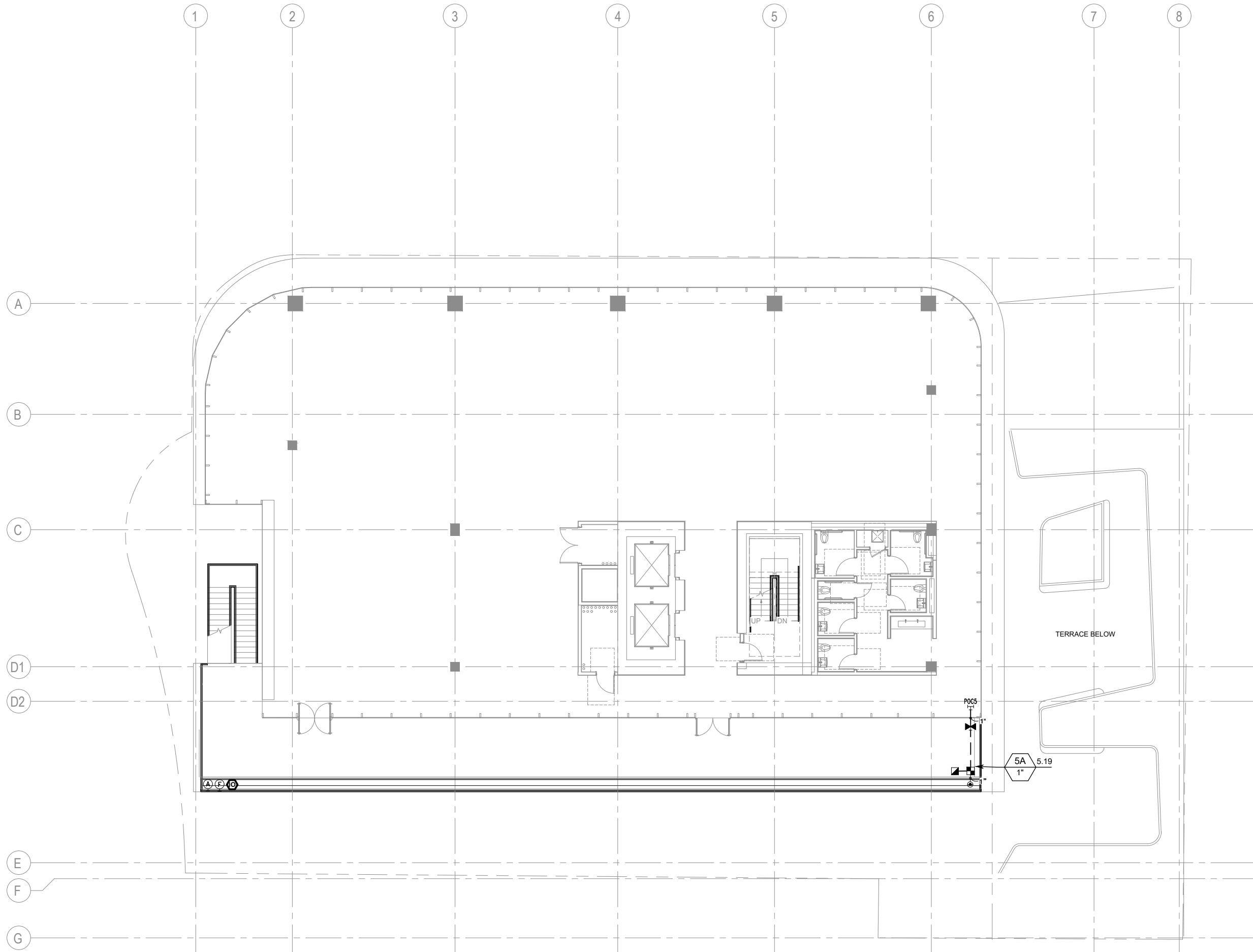
Description

IRRIGATION PLAN - LEVEL 04

Scale

1/8" = 1'-0"

L7.06



△ Date	Description
03/12/2021	SCHEMATIC DESIGN ISSUANCE
02/18/2022	50% DESIGN DEVELOPMENT
04/01/2022	100% DESIGN DEVELOPMENT
12/07/2022	50% CONSTRUCTION DOCUMENTS
02/17/2023	PLAN CHECK SUBMISSION

Seal / Signature

NOT FOR CONSTRUCTION

Project Name

Sunset Jewel Box

Project Number

05.2543.000

Description

IRRIGATION PLAN - LEVEL 05

Scale

1/8" = 1'-0"

L7.07

SITEPLAN LEGEND

	EXTENT OF REQUIRED FIRE LANES		FIRE HYDRANT
	PROPERTY LINE		FIRE DEPARTMENT CONNECTION
	FIRE FIGHTER PATH (ON FOOT)		DENOTES EXISTING
	ACCESS ROAD MEASUREMENT		FIRE FIGHTER INGRESS
	FIRE SEPARATION DISTANCE		ELEVATION INDICATOR
	QUALIFYING AERIAL APPARATUS ACCESS ROAD		
	OTHER FIRE APPARATUS ACCESS ROAD		

PROJECT DESCRIPTION

PROJECT ADDRESS: 9176 SUNSET BLVD
 ASSESSOR'S PARCEL #S: 4340-028-002; 4340-028-010; 4340-028-001
 CONSTRUCTION TYPE: TYPE IA
 OCCUPANCY GROUP: B (with S-2 Parking Below)
 HAZARD SEVERITY: NOT IN A VHFHSZ
 SEISMIC CLASSIFICATION: CATEGORY II

FIRE FLOW CALCULATION

The required fire flow for fire hydrants at this location is 1,875 GPM, at 20 psi residual pressure, for a duration of THREE(3) HOURS over and above maximum daily domestic demand. Fire Code 507.3 and Appendix B105.2.

Available Fire flow at 20 PSI exceeds 6,000 gpm at the adjacent hydrants and has been tested for TWO(2) HOURS duration but is expected to have similar performance for THREE(3) HOURS duration.

DETAILS:
 The required fire flow is the greater of the automatic sprinkler system demand including hose stream allowance or the required fire flow calculated above. The calculated value is for a NFPA 13 sprinkler protected Type IA building with an area of 127,900 SQFT

SEE DETAILS ON FIRE FLOW AVAILABILITY FORM 196

ALLOWABLE HEIGHT AND AREA

CONSTRUCTION TYPES: TYPE IA (FULLY SPRINKLERED)
 OCCUPANCY TYPES: GROUP B, GROUP S-2

MAX ALLOWABLE HEIGHT AND AREA: UNLIMITED HEIGHT (PER CBC TABLE 504.3)
 UNLIMITED STORIES (PER CBC TABLE 504.4)
 UNLIMITED AREA (PER CBC TABLE 506.2)

PROPOSED BUILDING HEIGHT: BUILDING HEIGHT IN FEET = 81 FEET
 HEIGHT IN STORIES = SIX (6)

PROPOSED BUILDING AREA: BUILDING AREA = 50,300 SQ FT.
 BUILDING AREA OF LARGEST STORY = 12,300 SQ FT. (LEVEL 01)

LA COUNTY NOTES

- REQUIRED FIRE ACCESS ROAD TO BE OPEN-TO-SKY OR HAVE 13'-6" MINIMUM VERTICAL CLEARANCE TO TREES ABOVE. (SEE LACFC 503.2.1)
- PROVIDE 28' WIDE AERIAL APPARATUS ROAD "IN THE IMMEDIATE VICINITY OF THE BUILDING"; AS APPLIED THIS MEANS 10'-20' FROM THE EXTERIOR WALL (SEE LACFC 503.2.1.2.2)
- FIRE APPARATUS ACCESS ROAD SHALL NOT EXCEED 15% GRADE. (SEE LACFC 503.2.7)
- FIRE DEPARTMENT ACCESS ROADS MUST BE INSTALLED AND MAINTAINED IN A SERVICABLE MANOR PRIOR TO AND DURING THE TIME OF CONSTRUCTION (FIRE CODE 510.4).
- FIRE DEPARTMENT CONNECTION WILL BE ON ADDRESS SIDE AND LOCATED AT LEAST 25 FEET FROM THE BUILDING WHILE REMAINING WITHIN 150 FEET OF AT LEAST ONE FIRE HYDRANT.

SHEET NOTES

- AREAS ALONG THE SOUTH WALL OF THE BUILDING WILL REQUIRE SPECIFIC FIRE DEPARTMENT APPROVAL WHERE DISTANCE FROM THE FIRE VEHICLE ACCESS TO THE BUILDING EXTERIOR EXCEEDS 150 FEET. (SEE LACFC 503.1.1)
- REQUIREMENT FOR AERIAL APPARATUS IS MET ON SUNSET BLVD. CORY AVE COULD ALSO QUALIFY IF REQUIRED BY LACFD. BOTH STREETS HAVE AMPLE WIDTH FOR FIRE TRUCK USE.
- NO ABOVE GROUND HIGH VOLTAGE TRANSMISSION LINES ARE LOCATED WITHIN 100 FEET OF THE BUILDING DRIP LINE. AN EXISTING COMMUNICATION/POWER/UTILITY POLE AT THE SOUTHEAST CORNER OF THE SITE WILL BE REMOVED AS PART OF THIS PROJECT AND THESE SERVICES WILL BE RELOCATED UNDERGROUND.

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 United States
 Tel 213.327.3600
 Fax 213.327.3601

SGH

SIMPSON GUMPERTZ & HEGER
 1150 S. Olive Street, Suite 1600
 Los Angeles, CA 90015
 213.271.2000
 sgh.com

Date	Description
03/12/2021	SCHEMATIC DESIGN ISSUANCE
04/15/2022	DESIGN DEVELOPMENT ISSUANCE
12/21/2022	50% CONSTRUCTION DOCUMENTS
02/17/2023	PLAN CHECK SUBMISSION

Seal / Signature

NOT FOR CONSTRUCTION

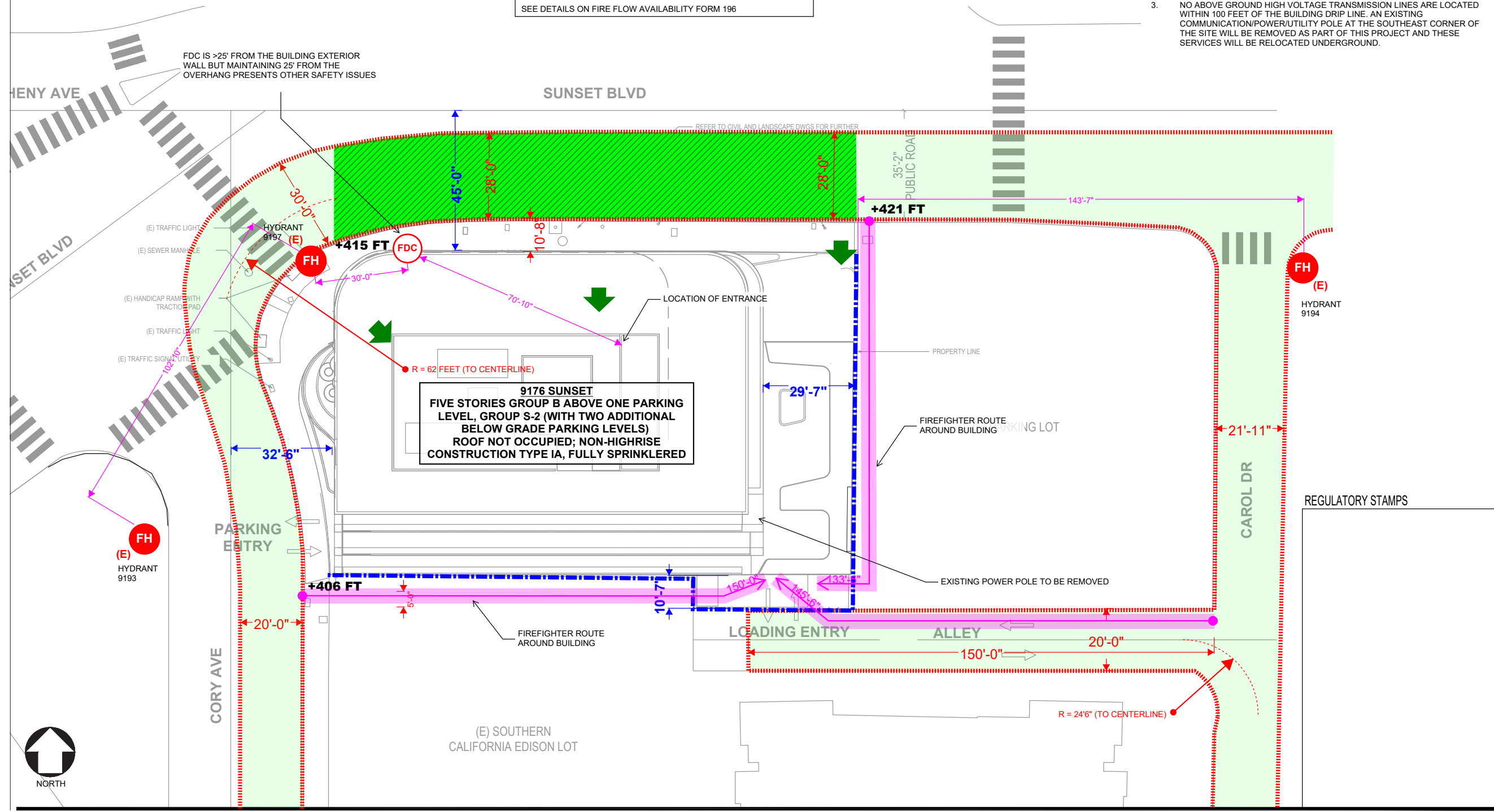
Project Name
 9176 SUNSET

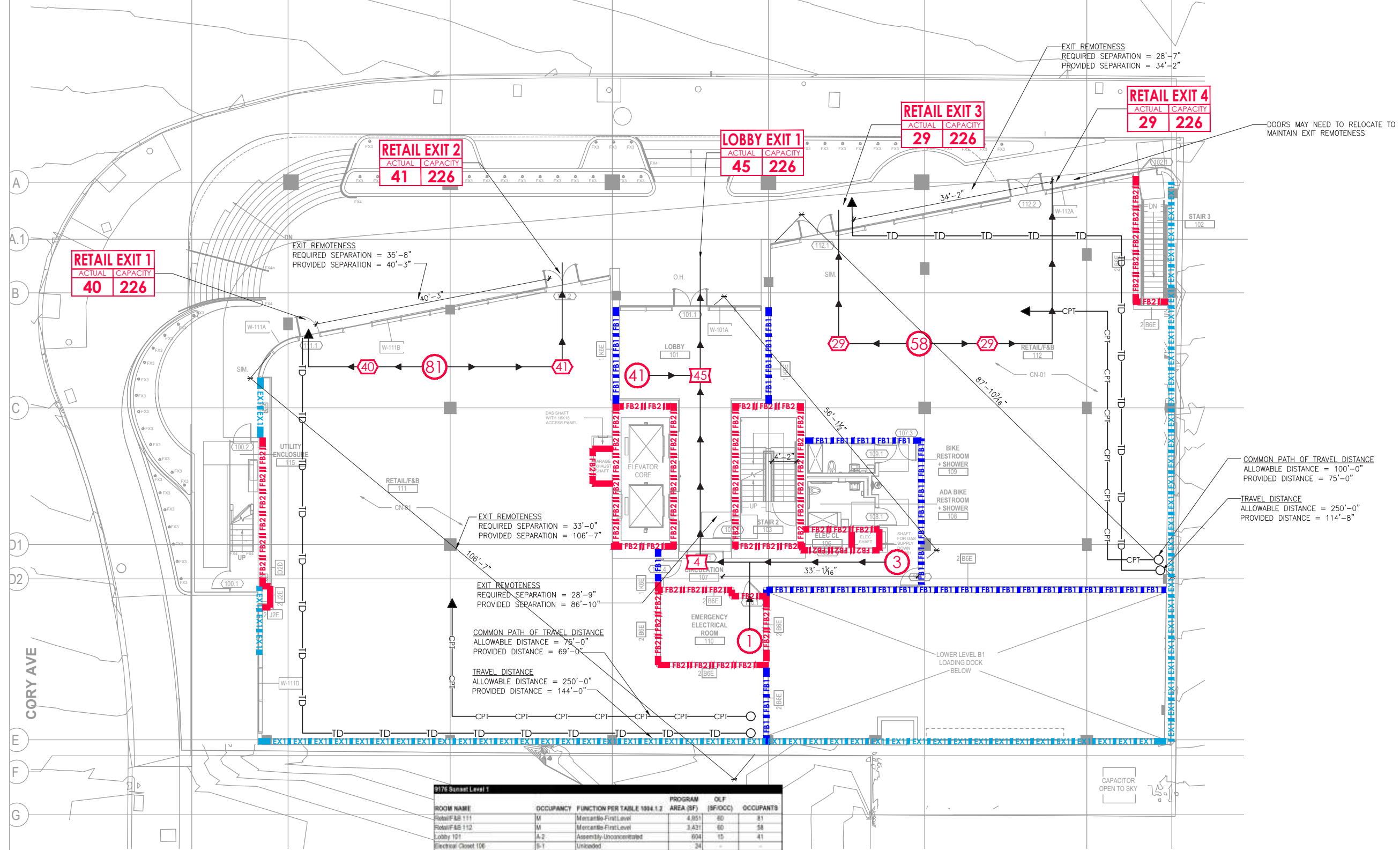
Project Number
 05.2543.000

Description
 SITE PLAN-PROPOSED

Scale
 1/16" = 1'-0"

LS1.100





Date	Description
03/12/2021	SCHEMATIC DESIGN ISSUANCE
04/15/2022	DESIGN DEVELOPMENT ISSUANCE
12/21/2022	50% CONSTRUCTION DOCUMENTS
02/17/2023	PLAN CHECK SUBMISSION

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
9176 SUNSET

Project Number
05.2543.000

Description
LIFE SAFETY EXITING PLAN LEVEL 01

Scale
1/8" = 1'-0"

LS1.203

ROOM NAME	OCCUPANCY	FUNCTION PER TABLE 104.1.2	PROGRAM AREA (SF)	OLP (SF/OCC)	OCCUPANTS
Retail/F&B 111	M	Mercantile First Level	4,851	60	81
Retail/F&B 112	M	Mercantile First Level	3,421	60	58
Lobby 101	A-2	Assembly Unconcentrated	604	15	41
Electrical Closet 106	S-1	Unloaded	34	-	-
Circulation 107	B	Business	325	150	3
ADA Bike Restroom + Shower 108	B	Unloaded	86	-	-
Bike Restroom + Shower 109	B	Unloaded	59	-	-
Emergency Electrical Room 110	S-1	Utility	210	300	1
Lower Level B1 Loading Dock	S-2	Unloaded	1,644	-	-
Total					184

EXIT ACCESS COMPONENT	EXIT FUNCTION	STAIR WIDTH (IN)	FACTOR (MOCC)	CAPACITY (OCC)	REQ. STAIR WIDTH (IN)	DOOR WIDTH (IN)	DOORRAMP FACTOR (MOCC)	DOORRAMP CAPACITY (OCC)	REQUIRED CAPACITY (IN)	GOVERNING CAPACITY	ACTUAL USE
RETAIL EXIT 1	EXIT	-	-	-	36	0.15	226	30	226	48	48
RETAIL EXIT 2	EXIT	-	-	-	72	0.15	453	32	228	41	41
RETAIL EXIT 3	EXIT	-	-	-	72	0.15	453	32	453	29	29
RETAIL EXIT 4	EXIT	-	-	-	72	0.15	453	32	453	29	29
STAIR 2	EXIT	-	-	-	72	0.15	453	32	453	48	48
TOTAL					TOTAL	TOTAL	TOTAL	TOTAL	TOTAL	TOTAL	TOTAL

FIRE RATINGS AND EXITING CALCULATIONS LEGEND

- ORIGINATING OCCUPANT LOAD
- AGGREGATE OCCUPANT LOAD
- SPLIT OCCUPANT LOAD
- DIRECTIONAL INDICATOR
- CPT - COMMON PATH OF EGRESS
- TD - TRAVEL DISTANCE
- LENGTH OF TRAVEL IN FEET
- 1 HOUR SMOKE BARRIER PER LABC 709 20 MINUTE OPENINGS PER LABC 716.1
- 1 HOUR SMOKE BARRIER PER LABC 709 45 MINUTE OPENINGS PER LABC 716.1
- 1 HOUR FIRE PARTITION PER LABC 708 20 MINUTE OPENINGS PER LABC 716.1
- 1 HOUR FIRE BARRIER PER LABC 707 60 MINUTE OPENINGS PER LABC 716.1
- 2 HOUR FIRE BARRIER PER LABC 707 90 MINUTE OPENINGS PER LABC 716.1
- 3 HOUR FIRE BARRIER PER LABC 707 3 HOUR OPENINGS PER LABC 716.1
- 1 HOUR EXTERIOR WALL PER CBC 705 ALLOWABLE UNPROTECTED OPENINGS PER LABC TABLES 602 AND 705.8**

STAIR NO 1
ACTUAL USE: 85
CAPACITY: 453

**SEE LABC TABLE 705.8 FOR SUMMARY OF ALLOWABLE UNPROTECTED OPENINGS

Date	Description
03/12/2021	SCHEMATIC DESIGN ISSUANCE
04/15/2022	DESIGN DEVELOPMENT ISSUANCE
12/21/2022	50% CONSTRUCTION DOCUMENTS
02/17/2023	PLAN CHECK SUBMISSION

Seal / Signature

NOT FOR CONSTRUCTION

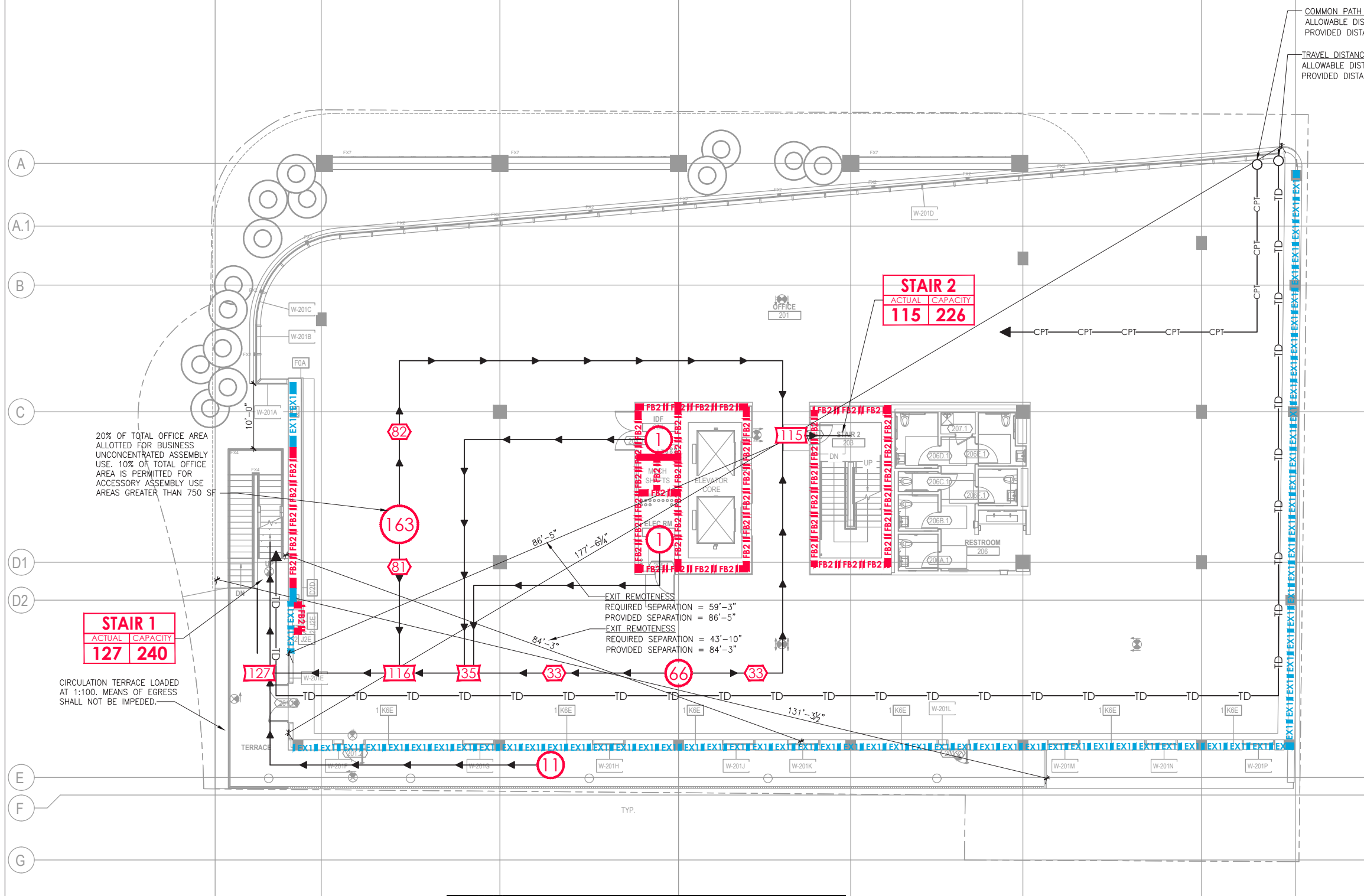
Project Name
9176 SUNSET

Project Number
05.2543.000

Description
LIFE SAFETY EXITING PLAN
LEVEL 02

Scale
1/8" = 1'-0"

LS1.204



20% OF TOTAL OFFICE AREA ALLOTTED FOR BUSINESS UNCONCENTRATED ASSEMBLY USE. 10% OF TOTAL OFFICE AREA IS PERMITTED FOR ACCESSORY ASSEMBLY USE AREAS GREATER THAN 750 SF

CIRCULATION TERRACE LOADED AT 1:100. MEANS OF EGRESS SHALL NOT BE IMPEDED.

EXIT REMOTENESS
REQUIRED SEPARATION = 59'-3"
PROVIDED SEPARATION = 86'-5"
EXIT REMOTENESS
REQUIRED SEPARATION = 43'-10"
PROVIDED SEPARATION = 84'-3"

ROOM NAME	OCCUPANCY	FUNCTION PER TABLE 1004.1.2	PROGRAM AREA (SF)	DLF (SF/OCC)	OCCUPANTS
Office (90% of Total Office Area) 201	B	Business	9,706	100	86
Office Assembly Space (10% of Total Office Area)	A-2	Assembly-Unconcentrated	2,442	15	163
IDF Room 204	S-1	Utility	86	300	1
Electric Room 205	S-1	Utility	96	300	1
Terrace 206	S	Circulation	1,063	100	11
Total					242

EXIT/EXIT ACCESS COMPONENT	EXIT FUNCTION	WIDTH (IN)	FACTOR (IN/OCC)	CAPACITY (OCC)	REQ. STAIR WIDTH (IN)	DOOR WIDTH (IN)	DOOR/RAMP FACTOR (IN/OCC)	DOOR/RAMP CAPACITY (OCC)	REQUIRED CAPACITY (IN)	GOVERNING CAPACITY	ACTUAL USE
STAIR 1	EXIT ACCESS	48	0.2	240	44	12	0.15	43	32	240	127
STAIR 2	EXIT ACCESS	44	0.2	220	44	36	0.15	29	30	220	115
TOTAL											

FIRE RATINGS AND EXITING CALCULATIONS LEGEND

- ORIGINATING OCCUPANT LOAD
- AGGREGATE OCCUPANT LOAD
- SPLIT OCCUPANT LOAD
- DIRECTIONAL INDICATOR
- CPT - COMMON PATH OF EGRESS
- TRAVEL DISTANCE
- LENGTH OF TRAVEL IN FEET

STAIR NO 1
ACTUAL USE: 85
CAPACITY: 453

- 1 HOUR SMOKE BARRIER PER LABC 709 20 MINUTE OPENINGS PER LABC 716.1
- 1 HOUR SMOKE BARRIER PER LABC 709 45 MINUTE OPENINGS PER LABC 716.1
- 1 HOUR FIRE PARTITION PER LABC 708 20 MINUTE OPENINGS PER LABC 716.1
- 1 HOUR FIRE BARRIER PER LABC 707 60 MINUTE OPENINGS PER LABC 716.1
- 2 HOUR FIRE BARRIER PER LABC 707 90 MINUTE OPENINGS PER LABC 716.1
- 3 HOUR FIRE BARRIER PER LABC 707 3 HOUR OPENINGS PER LABC 716.1
- 1 HOUR EXTERIOR WALL PER CBC 705 ALLOWABLE UNPROTECTED OPENINGS PER LABC TABLES 602 AND 705.8**

Date	Description
03/12/2021	SCHEMATIC DESIGN ISSUANCE
04/15/2022	DESIGN DEVELOPMENT ISSUANCE
12/21/2022	50% CONSTRUCTION DOCUMENTS
02/17/2023	PLAN CHECK SUBMISSION

Seal / Signature

NOT FOR CONSTRUCTION

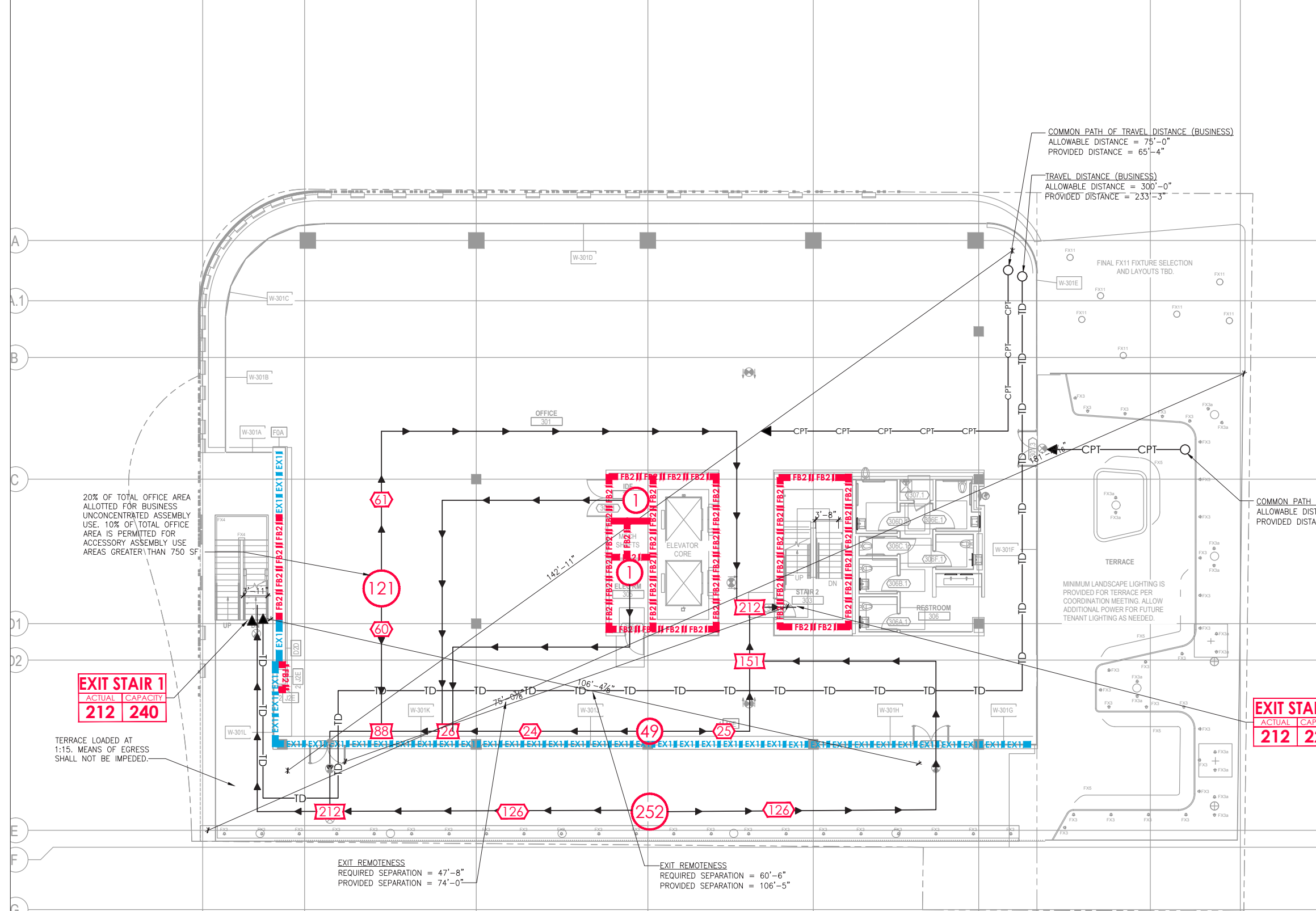
Project Name
9176 SUNSET

Project Number
05.2543.000

Description
LIFE SAFETY EXITING PLAN LEVEL 03

Scale
1/8" = 1'-0"

LS1.205



EXIT STAIR 1	ACTUAL	CAPACITY
	212	240

EXIT STAIR 2	ACTUAL	CAPACITY
	212	226

EXIT REMOTENESS
REQUIRED SEPARATION = 47'-8"
PROVIDED SEPARATION = 74'-0"

EXIT REMOTENESS
REQUIRED SEPARATION = 60'-6"
PROVIDED SEPARATION = 106'-5"

ROOM NAME	OCCUPANCY	FUNCTION PER TABLE 1994.1.2	PROGRAM AREA (SF)	OLP (SF/OCC)	OCCUPANTS
Office (80% of Total Office Area) 301	B	Business	7,332	150	49
Office Assembly Space (20% of Total Office Area) A-2	A-2	Assembly-Unconcentrated	1,809	15	121
Terrace	A-2	Assembly-Unconcentrated	3,775	15	252
Electric Room 305	S-1	Utility	59	300	1
IT Room 304	S-1	Utility	85	300	1
Total					424

EXIT/EXIT ACCESS COMPONENT	EXIT FUNCTION	WIDTH (IN)	FACTOR (IN/OCC)	CAPACITY (OCC)	REG. STAIR WIDTH (IN)	DOOR WIDTH (IN)	DOOR/RAMP FACTOR (IN/OCC)	DOOR/RAMP CAPACITY (OCC)	REQUIRED CAPACITY (IN)	OVERLAP CAPACITY	ACTUAL USE
STAIR 1	EXIT ACCESS	48	0.2	240	44	32	0.15	403	32	240	212
STAIR 2	EXIT ACCESS	44	0.2	220	44	36	0.15	330	32	220	212
TOTAL				460	106			733	64	460	424

FIRE RATINGS AND EXITING CALCULATIONS LEGEND

- ORIGINATING OCCUPANT LOAD
- AGGREGATE OCCUPANT LOAD
- SPLIT OCCUPANT LOAD
- DIRECTIONAL INDICATOR
- CPT - COMMON PATH OF EGRESS
- TD - TRAVEL DISTANCE
- LENGTH OF TRAVEL IN FEET

STAIR NO 1
ACTUAL USE: **85** ACTUAL CAPACITY: **453**

***SEE LABC TABLE 705.8 FOR SUMMARY OF ALLOWABLE UNPROTECTED OPENINGS

- SB, SB, SB, SB: 1 HOUR SMOKE BARRIER PER LABC 709
- SB1, SB1, SB1: 1 HOUR SMOKE BARRIER PER LABC 709
- FP, FP, FP: 1 HOUR FIRE PARTITION PER LABC 708
- FB1, FB1, FB1: 1 HOUR FIRE BARRIER PER LABC 707
- FB2, FB2, FB2: 2 HOUR FIRE BARRIER PER LABC 707
- FB3, FB3, FB3: 3 HOUR FIRE BARRIER PER LABC 707
- EX1, EX1, EX1: 1 HOUR EXTERIOR WALL PER CBC 705

1 HOUR SMOKE BARRIER PER LABC 709
20 MINUTE OPENINGS PER LABC 716.1
45 MINUTE OPENINGS PER LABC 716.1
20 MINUTE OPENINGS PER LABC 716.1
60 MINUTE OPENINGS PER LABC 716.1
90 MINUTE OPENINGS PER LABC 716.1
3 HOUR OPENINGS PER LABC 716.1
ALLOWABLE UNPROTECTED OPENINGS PER LABC TABLES 602 AND 705.8**

Date	Description
03/12/2021	SCHEMATIC DESIGN ISSUANCE
04/15/2022	DESIGN DEVELOPMENT ISSUANCE
12/21/2022	50% CONSTRUCTION DOCUMENTS
02/17/2023	PLAN CHECK SUBMISSION

Seal / Signature

NOT FOR CONSTRUCTION

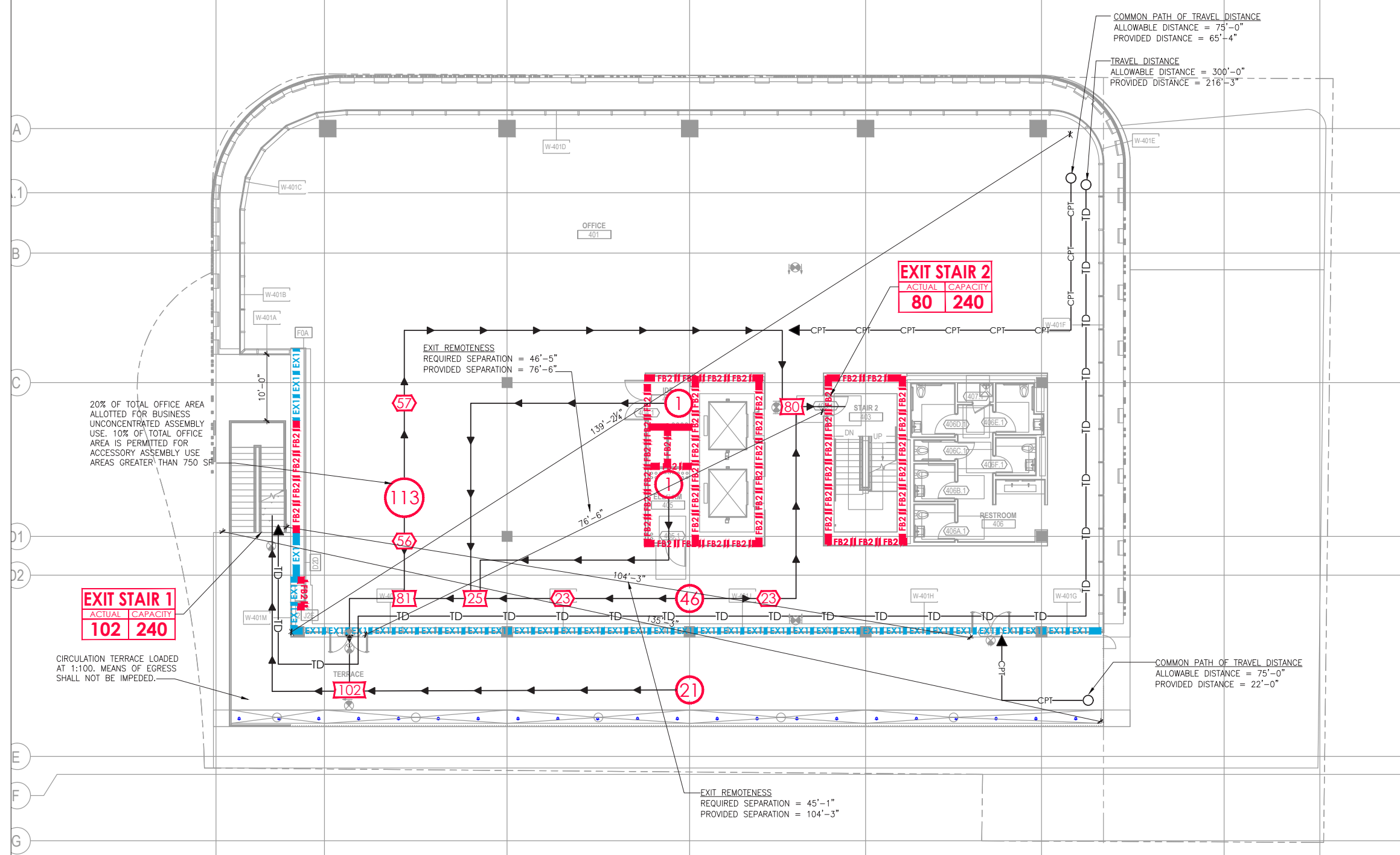
Project Name
9176 SUNSET

Project Number
05.2543.000

Description
LIFE SAFETY EXITING PLAN LEVEL 04

Scale
1/8" = 1'-0"

LS1.206



EXIT STAIR 1
ACTUAL CAPACITY
102 240

EXIT STAIR 2
ACTUAL CAPACITY
80 240

9176 Sunset Level 4

ROOM NAME	OCCUPANCY	FUNCTION PER TABLE 1004.1.2	PROGRAM AREA (SF)	GLF (SF/OCC)	OCCUPANTS
Electric Room 403	5-1	Utility	98	300	1
ITF Room 404	5-1	Utility	86	300	1
Office (80% of Total Office Area) 401	B	Business	6,771	190	48
Office Assembly Space (20% of Total Office Area) 2	B	Assembly-Unconcentrated	1,893	15	113
Terrace 405	B	Circulation	2,020	100	31
Total					162

EXIT COMPONENT	EXIT FUNCTION	STAIR	FACTOR (INCC)	CAPACITY (OCC)	REG. STAIR WIDTH (IN)	DOOR WIDTH (IN)	DOORRAMP WIDTH (IN)	DOORRAMP CAPACITY (OCC)	REQUIRED CAPACITY (SN)	GOVERNING CAPACITY	ACTUAL USE
STAIR 2	EXIT ACCESS	44	5.2	230	44	36	36	236	32	236	80
STAIR 1	EXIT ACCESS	48	5.2	240	44	72	618	465	32	240	102
TOTAL									64	490	182

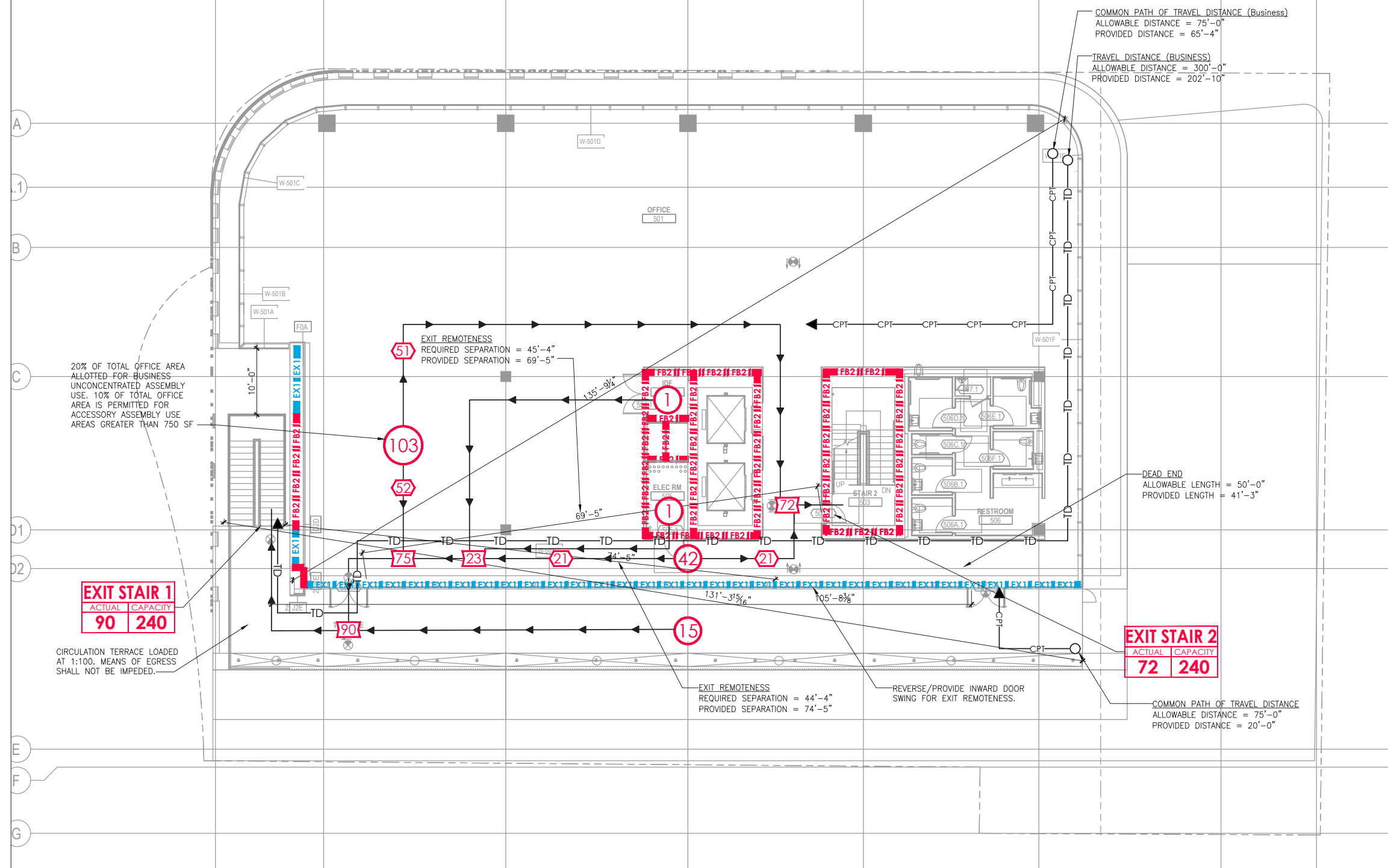
FIRE RATINGS AND EXITING CALCULATIONS LEGEND

- ORIGINATING OCCUPANT LOAD (XX)
- AGGREGATE OCCUPANT LOAD (XX)
- SPLIT OCCUPANT LOAD (XX)
- DIRECTIONAL INDICATOR (→)
- CPT - COMMON PATH OF EGRESS
- TD - TRAVEL DISTANCE
- LENGTH OF TRAVEL IN FEET (24.3)

STAIR NO 1
ACTUAL USE: 85 | CAPACITY: 453

- SB, SB1, SB2, SB3: 1 HOUR SMOKE BARRIER PER LABC 709
- SB1, SB1, SB1: 1 HOUR SMOKE BARRIER PER LABC 709
- SB1, SB1, SB1: 45 MINUTE OPENINGS PER LABC 716.1
- FP, FP, FP: 1 HOUR FIRE PARTITION PER LABC 708
- FP, FP, FP: 20 MINUTE OPENINGS PER LABC 716.1
- FB1, FB1, FB1: 1 HOUR FIRE BARRIER PER LABC 707
- FB1, FB1, FB1: 60 MINUTE OPENINGS PER LABC 716.1
- FB2, FB2, FB2: 2 HOUR FIRE BARRIER PER LABC 707
- FB2, FB2, FB2: 90 MINUTE OPENINGS PER LABC 716.1
- FB3, FB3, FB3: 3 HOUR FIRE BARRIER PER LABC 707
- FB3, FB3, FB3: 3 HOUR OPENINGS PER LABC 716.1
- EX1, EX1, EX1: 1 HOUR EXTERIOR WALL PER CBC 705
- EX1, EX1, EX1: ALLOWABLE UNPROTECTED OPENINGS PER LABC TABLES 602 AND 705.8**

**SEE LABC TABLE 705.8 FOR SUMMARY OF ALLOWABLE UNPROTECTED OPENINGS



Date	Description
03/12/2021	SCHEMATIC DESIGN ISSUANCE
04/15/2022	DESIGN DEVELOPMENT ISSUANCE
12/21/2022	50% CONSTRUCTION DOCUMENTS
02/17/2023	PLAN CHECK SUBMISSION

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
 9176 SUNSET

Project Number
 05.2543.000

Description
 LIFE SAFETY EXITING PLAN
 LEVEL 05

Scale
 1/8" = 1'-0"

LS1.207

9176 Sunset Level 5

ROOM NAME	OCCUPANCY	FUNCTION PER TABLE 1004.1.2	PROGRAM AREA (SF)	OLP (SF/OCC)	OCCUPANTS
Office (80% of Total Office Area) 501	B	Business	8,162	150	42
Office Assembly Space (20% of Total Office Area) 2	A-2	Assembly-Unconcentrated	1,541	15	103
CAF Room 504	S-1	Utility	80	300	1
Electric Room 505	S-1	Utility	50	300	1
Terrace	B	Circulation	1,417	100	15
Total					163

EXIT ACCESS COMPONENT	EXIT FUNCTION	STAIR WIDTH (IN)	FACTOR (NOCC)	CAPACITY (OCC)	REQ. STAIR WIDTH (IN)	DOOR WIDTH (IN)	DOOR/RAMP FACTOR (NOCC)	DOOR/RAMP CAPACITY (OCC)	REQUIRED CAPACITY (EN)	GOWNING CAPACITY	ACTUAL USE
STAIR 2	EXIT ACCESS	44	0.3	220	44	36	0.15	226	32	226	78
STAIR 3	EXIT ACCESS	48	0.2	340	44	72	0.15	453	32	340	80
TOTAL					TOTAL	TOTAL		TOTAL	TOTAL	TOTAL	TOTAL
					168			64	488		163

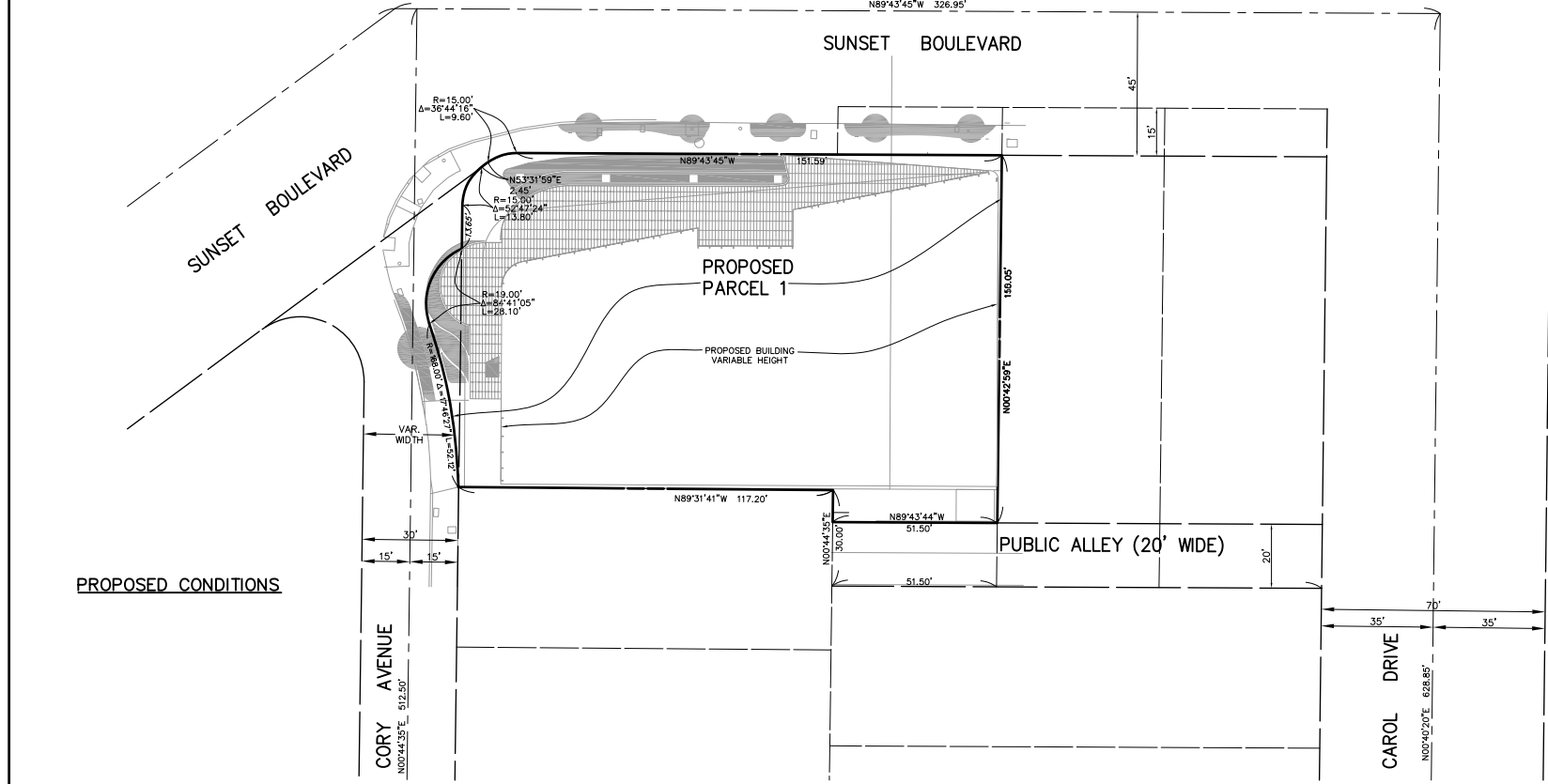
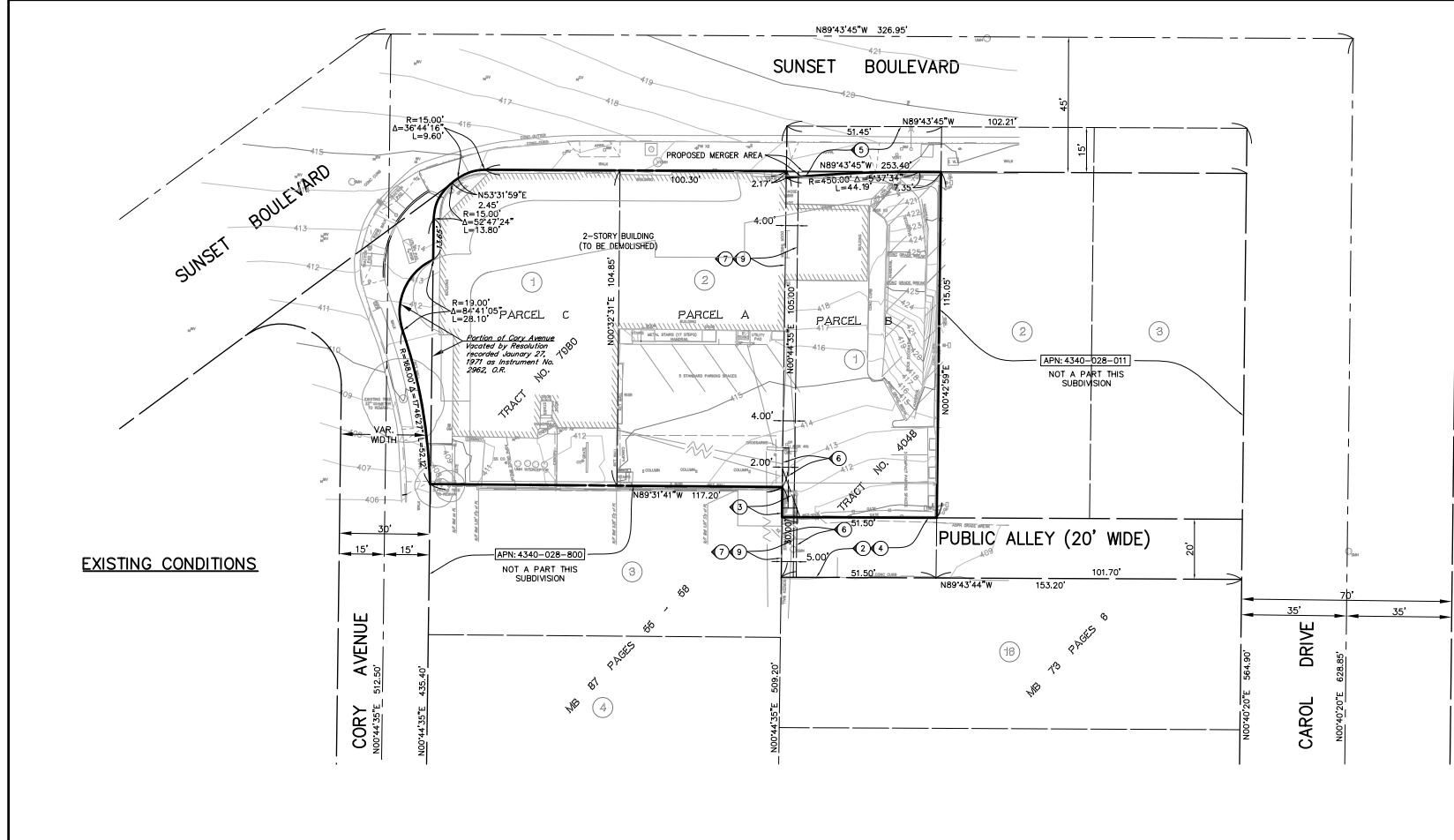
FIRE RATINGS AND EXITING CALCULATIONS LEGEND

- ORIGINATING OCCUPANT LOAD
- AGGREGATE OCCUPANT LOAD
- SPLIT OCCUPANT LOAD
- DIRECTIONAL INDICATOR
- CPT - COMMON PATH OF EGRESS
- TD - TRAVEL DISTANCE
- LENGTH OF TRAVEL IN FEET

STAIR NO 1
 ACTUAL USE: 85
 CAPACITY: 453

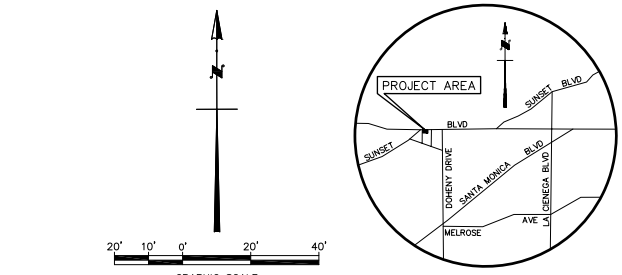
- 1 HOUR SMOKE BARRIER PER LABC 709
- 20 MINUTE OPENINGS PER LABC 716.1
- 1 HOUR SMOKE BARRIER PER LABC 709
- 45 MINUTE OPENINGS PER LABC 716.1
- 1 HOUR FIRE PARTITION PER LABC 708
- 20 MINUTE OPENINGS PER LABC 716.1
- 1 HOUR FIRE BARRIER PER LABC 707
- 60 MINUTE OPENINGS PER LABC 716.1
- 2 HOUR FIRE BARRIER PER LABC 707
- 90 MINUTE OPENINGS PER LABC 716.1
- 3 HOUR FIRE BARRIER PER LABC 707
- 3 HOUR OPENINGS PER LABC 716.1
- 1 HOUR EXTERIOR WALL PER CBC 705
- ALLOWABLE UNPROTECTED OPENINGS PER LABC TABLES 602 AND 705.8**

**SEE LABC TABLE 705.8 FOR SUMMARY OF ALLOWABLE UNPROTECTED OPENINGS



LEGEND

---	PROPERTY / BOUNDARY LINE	
---	STREET R/W LINE	
---	CURB LINE (FROM 1'-20" ON TO 1'-200")	
---	CURB LINE (1'-12", 1'-8", 1'-6")	
---	CENTER LINE	
---	LOT LINE / PARCEL LINE	
---	EASTMENT LINE (B=WIDTH)	
---	CONTOUR LINE (APPROXIMATE)	
---	BUILDING FOOT PRINT LINE	
---	OVERHANG LINE	
---	CHAINLINK (CHK) FENCE LINE	
---	WROUGHT IRON (WI) FENCE LINE	
---	RETAINING (RET) / SCREEN WALL (AS NOTED)	
---	GUARD RAIL	
---	EDGE OF ASPHALT PAVING	
---	ASPH	ASPHALT PAVING
---	CONC	CONCRETE PAVING
---	AD	AREA DRAIN
---	CB	CATCH BASIN W/ACCESS HOLE
---	CMH/EMH/FMH/OMH	COMMUNICATION/ELECTRICAL/FIBER OPTIC/GAS MANHOLE
---	SMY/SMH/FMH/MMH	SEWER/STORMSEWER/UNKNOWN/WATER MANHOLE
---	CP/PP/UP/PC	COMMUNICATION/POWER/UTILITY POLE
---	CPC/PPC/UPC	COMMUNICATION/POWER/UTILITY POLE AND CONDUIT
---	S	SEWER (ALL KINDS)
---	SL	STREET LIGHT W/ARM
---	TL	TRAFFIC SIGNAL W/ARM
---	Y	YARD LIGHT
---	PL	PARKING LIGHT
---	FR	FIRE HYDRANT
---	DS	DOWNSPOUT
---	FDC	FIRE DEPARTMENT CONNECTION
---	PV	POST INDICATOR VALVE
---	PM	PARKING METER
---	EM/GM/AM/MM	ELECTRICAL/GAS/UNKNOWN/WATER METER
---	AU/OU/NU/PU/OU/NU	AIR/GAS/IRRIGATION/PETROLEUM/UNKNOWN/WATER VALVE
---	C/E/TD/VLT	COMMUNICATION/ELECTRICAL/FIBER OPTIC VAULT
---	G/I/A/W/VLT	GAS/IRRIGATION/UNKNOWN/WATER VAULT
---	C/E/G/RSR	COMMUNICATION/ELECTRICAL/GAS RISER
---	P/I/W/RSR	PETROLEUM/UNKNOWN/WATER RISER
---	C/E/I/TS/PMB	COMMUNICATION/ELECTRICAL/IRRIGATION/TRAFFIC SIGNAL PANEL
---	C/E/I/TS/CAB	COMMUNICATION/ELECTRICAL/UNKNOWN/TRAFFIC SIGNAL CABINET
---	CRB/SPB/FPB	COMMUNICATION/ELECTRICAL/FIBER OPTIC PULL BOX
---	SLPB/TSPB/FPB	STREET LIGHT/TRAFFIC/UNKNOWN PULL BOX
---	G/I/A/BOX	GAS/IRRIGATION/UNKNOWN BOX
---	A/C/E/F/STRL	AIR/COMMUNICATION/ELECTRICAL/FIRE STRUCTURE
---	G/I/P/SS/STRU	GAS/IRRIGATION/PETROLEUM/SANITARY SEWER STRUCTURE
---	SD/SL/OU/W/STRU	STORM DRAIN/STREET LIGHT/UNKNOWN/WATER STRUCTURE
---	COMP/H/C/STD	COMPACT/HANDYCAP/STANDARD PARKING STALL
---	DI	DIAPHRAGM
---	PT	PALM TREE W/TRUNK DIAMETER
---	DT	DECIDUOUS TREE IN WELL W/TRUNK DIAMETER
---	PL	PLANTER
---	GP	GUARD POST
---	APR	APPROACH
---	DRWY	DRIVEWAY
---	BP	BACKFLOW PREVENTER
---	CO	CLEAN OUT
---	OVHC	LOCATION OF BUILDING HEIGHT MEASUREMENTS
---	UNDR	UNDERGROUND
---	TRANS	TRANSFORMER
---	FC	FIRE DEPARTMENT CONNECTION
---	SC	STREET CENTERLINE/CONTROL LINE
---	P/L	PROPERTY LINE
---	TOP	TOPOGRAPHIC SPOT ELEVATION, NO LEADER
---	BE	BACK OF WALK ELEVATION
---	EC	EDGE OF CONCRETE ELEVATION
---	GC	EDGE OF GUTTER ELEVATION
---	EP	EDGE OF PAVEMENT ELEVATION
---	FL	FLOW LINE ELEVATION
---	INV	PIPE INVERT ELEVATION
---	RM	MANHOLE RIM ELEVATION
---	TB	TOP OF BERM ELEVATION
---	TC	TOP OF CURB ELEVATION
---	TF	TOP OF FOOTING ELEVATION
---	TG	TOP OF GRADE ELEVATION
---	TW	TOP OF WALL ELEVATION
---	QD	RECORD LOT / PARCEL NUMBER
---	(DESDOT)	RECORD DIMENSION OR BEARING IF DIFFERENT THAN MEASURED
---	N/E/S/W	NORTH/EAST/SOUTH/WEST LOCATION OF IMPROVEMENT W/ RESPECT TO REFERENCE NORTH AND PROPERTY LINE.



NOTES:

CONTACT INFORMATION:

OWNER/SUBDIVIDER: LDRL CA 308 LLC
 C/O JEANNE LAZAR
 151 N. FRANKLIN STREET, SUITE 300
 CHICAGO, IL 60600
 (312) 441-4131

SURVEYOR/ENGINEER: PSOMAS
 ATTN: DANIEL RAHE
 555 SOUTH FLOWER STREET, SUITE 4300
 LOS ANGELES, CA 90071
 (213) 223-1537

PROJECT INFORMATION:

PROJECT ADDRESS: 9176 W SUNSET BLVD
 WEST HOLLYWOOD, CA 90069

APN: 4340-028-001, 4340-028-002, 4340-028-010

THOMAS BROS. GUIDE: 592-06

PROJECT SYNOPSIS:

PROPOSED PROJECT IS A 1 PARCEL, VESTING PRELIMINARY PARCEL MAP NO. 82691, (CONVENTIONAL PARCEL) FOR MERGER AND RESUBDIVISION PURPOSES, PER WHMC Section 20.04.

PROPOSED PROJECT IS A DEMOLITION OF EXISTING IMPROVEMENTS AND A NEW CONSTRUCTION OF A 5-STORY (53,029 SF). IT CONSISTS OF APPROX. 43,510 SF OF OFFICE, 8,380 SF OF COMMERCIAL/RETAIL FOOD AND BEVERAGE AND 1,140 SF OF BACK OF HOUSE SPACE. PROJECT PARKING IS PROVIDED IN THREE SUBTERRANEAN LEVELS. PROPOSED PROJECT WILL PROVIDE 105 PARKING SPACES AND 14 BICYCLE SPACES.

BUILDINGS: ALL EXISTING BUILDINGS ARE TO BE DEMOLISHED.

FLOOD ZONE: SUBJECT PROPERTY LIES WITHIN FLOOD ZONE "X" (0.2% ANNUAL CHANCE FLOOD HAZARD, AREAS OF 1% ANNUAL CHANCE FLOOD WITHIN AVERAGE DEPTH LESS THAN ONE FOOT OR WITH DRAINAGE AREAS OF LESS THAN ONE SQUARE MILE.) AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 06037C1585F, DATED SEPTEMBER 26, 2008, PUBLISHED BY FEDERAL EMERGENCY MANAGEMENT AGENCY.

PROPERTY AREA: BASED UPON MEASURED BEARINGS AND DISTANCES AS SHOWN HEREON, THE AREA IS:
 EXISTING - 18,486 SQ. FT. = 0.42 ACRES
 PROPOSED - 18,516 SQ. FT. = 0.43 ACRES

ZONING: SSP - SUNSET SPECIFIC PLAN (AREA 8 - WEST END OF THE SSP). EXISTING AND PROPOSED ZONING WILL STAY THE SAME.

STREETS: PROJECT IS FRONTING ON PUBLIC STREETS SUNSET BOULEVARD AND CORY AVENUE AS SHOWN HEREON. EXISTING STREET ARE FULLY DEDICATED AND NO ADDITIONAL DEDICATION WILL REMAIN BE REQUIRED.

PARKING: PROPOSED PROJECT WILL PROVIDE 105 VEHICULAR PARKING SPACES AND 14 BICYCLE SPACES.

EXISTING UTILITIES: UNDERGROUND UTILITIES SHOWN HEREON ARE PER CITY OF WEST HOLLYWOOD AND PRIVATE UTILITY COMPANY RECORDS.

STORM WATER: THE PROJECT WILL MEET THE CITY OF WEST HOLLYWOOD LOW IMPACT DEVELOPMENT REQUIREMENTS, IN CONJUNCTION WITH THE COUNTY OF LOS ANGELES REGIONAL WATER QUALITY STANDARDS. PROJECT WILL BE DESIGNED PER CITY OF WEST HOLLYWOOD REQUIREMENTS. (SHOWN ON IMPROVEMENT PLANS).

SEWAGE DISPOSAL: SANITARY SEWER IS AVAILABLE AND WILL SERVE PROPOSED PROJECT. PROJECT WILL BE CONNECTED TO THE CITY OF SANITARY SEWER SYSTEM, WITH SEWAGE BEING DIRECTED TO THE LA COUNTY SANITATION DISTRICT 4.

WELLS: THERE ARE NO WELLS ON THE SITE.

STORM WATER: PROJECT WILL BE DESIGNED PER CITY OF WEST HOLLYWOOD REQUIREMENTS. (SHOWN ON IMPROVEMENT PLANS).

TREES: EXISTING PARKWAY TREES WILL REMAIN, NEW STREET TREES WILL BE PLANTED ALONG SUNSET BLVD. THERE ARE NO EXISTING TREES ON PROPERTY.

EASEMENT OF RECORD:

TITLE REPORT: FIDELITY NATIONAL TITLE COMPANY
 ORDER NUMBER 30030984-010-WR2.

○ - INDICATES TITLE COMMITMENT EASEMENT NO.

- 1 WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.
- 2 EASEMENT FOR PUBLIC ROADS AND HIGHWAY PURPOSES RECORDED IN BOOK 2960, PAGE 65, O.R. PLOTTED.
- 3 EASEMENT FOR CONDUITS RECORDED IN BOOK 2960, PAGE 65, O.R. PLOTTED.
- 4 EASEMENT FOR POLE LINES AND CONDUITS FOR PUBLIC UTILITY, TOGETHER WITH THE RIGHT TO GRANT AND DEDICATE THE SAME TO PUBLIC USE RECORDED IN BOOK 5534, PAGE 24, O.R. PLOTTED.
- 5 EASEMENT FOR PUBLIC ROADS AND HIGHWAY PURPOSES RECORDED IN BOOK 13912, PAGE 268, O.R. PLOTTED.
- 6 EASEMENT FOR POLE LINES RECORDED IN BOOK 18729, PAGE 30, O.R. AN AGREEMENT TO MODIFY TERMS AND PROVISIONS OF SAID DOCUMENT, AS THEREIN PROVIDED IN A DOCUMENT RECORDED NOVEMBER 15, 1941 IN BOOK 18899, PAGE 263, O.R. PLOTTED.
- 7 EASEMENT FOR POLE LINES AND CONDUITS RECORDED NOVEMBER 5, 1951 IN BOOK 18916, PAGE 91, O.R. PLOTTED.
- 8 EASEMENT FOR PUBLIC UTILITIES RECORDED AUGUST 16, 1990 AS INSTRUMENT NO. 90-1428840 O.R. PLOTTED.
- 9 ANY RIGHTS, INTEREST, OR CLAIMS WHICH MAY EXIST OR ARISE BY REASON OF THE FOLLOWING MATTERS DISCLOSED BY SURVEY, JOB NO. CA-19-XXX DATED 7/10/2019 PREPARED BY CHRISTENSEN & PLOUFF LAND SURVEYING. PLOTTED.

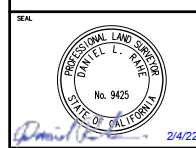
LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF WEST HOLLYWOOD, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL A:
 LOT 2 OF TRACT NO. 7980, IN THE CITY OF WEST HOLLYWOOD, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 87 PAGES 55 AND 56 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL B:
 LOT 1 OF TRACT NO. 4048, IN THE CITY OF WEST HOLLYWOOD, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 73 PAGE 6 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL C:
 LOT 1 OF TRACT NO. 7980, IN THE CITY OF WEST HOLLYWOOD, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 87 PAGES 55 AND 56 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, AND THAT PORTION OF CORY AVENUE VACATED BY RESOLUTION RECORDED JANUARY 27, 1971 AS INSTRUMENT NO. 2962 OFFICIAL RECORDS OF SAID COUNTY.



DESIGNED	SAS				
DRAWN	SAS				
CHECKED	DLR				
REV	DATE	DESCRIPTION	BY	APPD	

BENCHMARK 615272

CUT SPK IN N CB 5' W/O BCR @ NW COR SUNSET BLVD & DOHENY DR 48' W & 34' N/O C/L INT MKD (BM)

ELEVATION 408.716 FEET NAVD 88 ADJUSTMENT 2012

PART/PLOT DATE:

PSOMAS

555 South Flower Street, Suite 4300
 Los Angeles, CA 90071
 (213) 223-1400 (213) 223-1444 fax
 www.psomas.com

FOR SUBDIVISION AND MERGER PURPOSES:

**VESTING TENTATIVE
 PARCEL MAP NO. 83691**
 9160, 9166, 9174 W SUNSET BLVD

IN THE CITY OF WEST HOLLYWOOD COUNTY OF LOS ANGELES STATE OF CALIFORNIA

DATE	NOVEMBER 17, 2021	SHEET	1
SCALE	1" = 20'		
PROJECT NUMBER	1LDR010100		